

NEW COLUMBIA
DESIGN GUIDELINES
Phase II Housing

prepared for:

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Portland, OR 97204

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acknowledgements

City of Portland
Housing Authority of Portland
Board of Commissioners

The Community Association
of Portsmouth (TCAP)

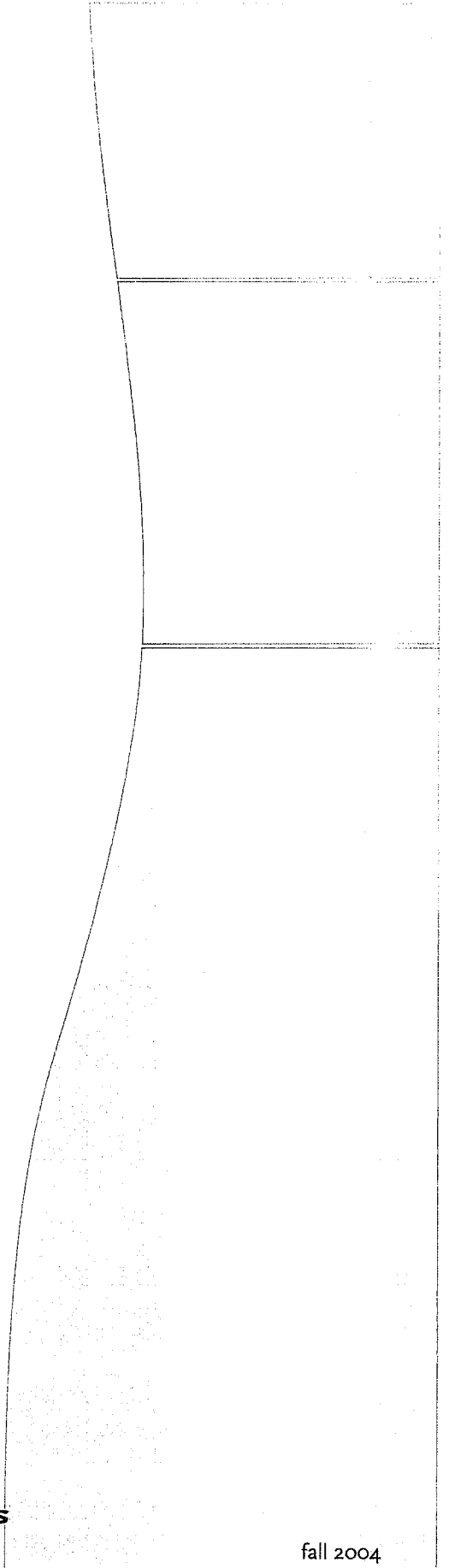
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MITHUN

ARCHITECTS + DESIGNERS + PLANNERS

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing



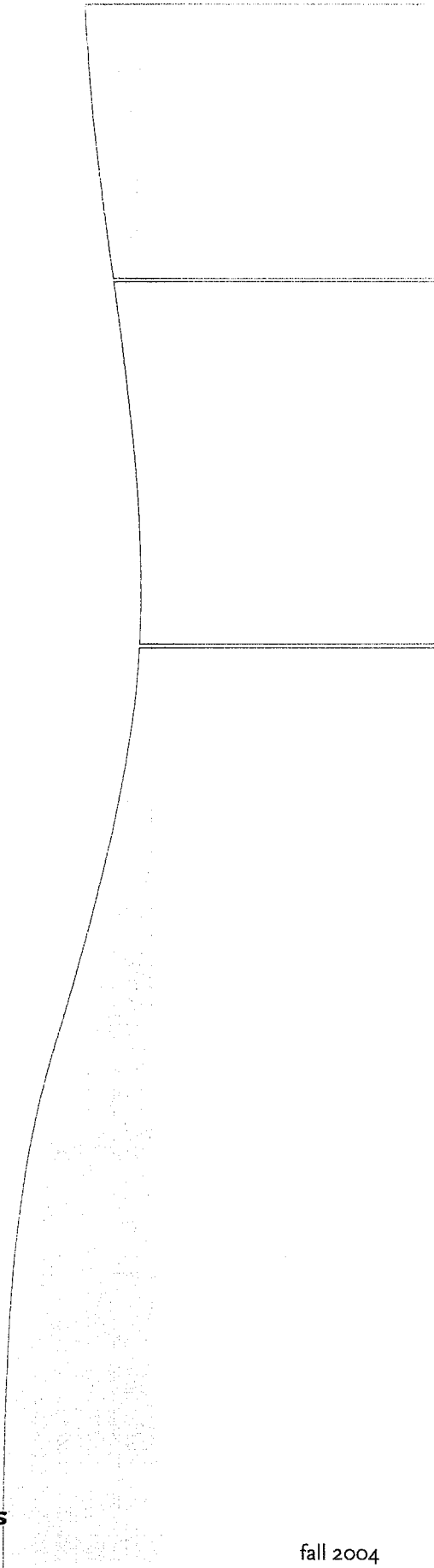
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fall 2004

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P R I N C I P L E S

message from hap

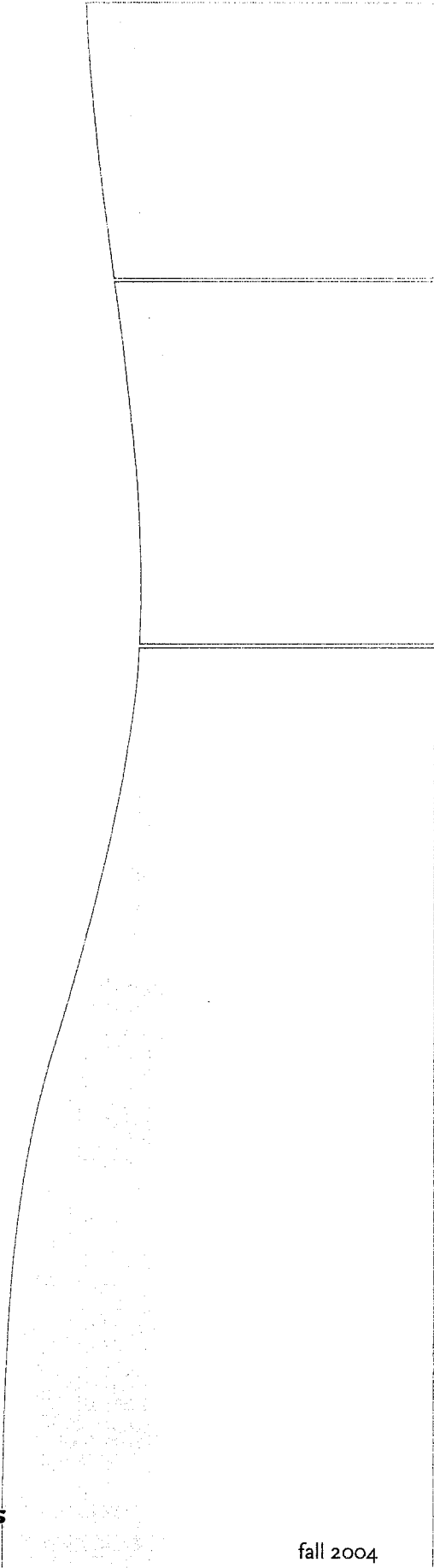
applicability

timeline

context

values & goals

community concepts



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AUTHORITY
OF PORTLAND

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fall 2004

October 2004

Dear Partners:

The Housing Authority of Portland (HAP) is very pleased to offer homeownership lots for sale in our New Columbia redevelopment in North Portland. New Columbia, with its 850 units of new housing, an expansive park system and a mixed-use component along North Trenton Street, will serve as a catalyst for the revitalization of the immediate Portsmouth neighborhood and the North Portland peninsula.

This is a tremendous opportunity for homebuilders. Rarely in the City of Portland has a collection of 230 fully developed lots become available within a 26-block area. One hundred and forty seven lots are being offered in the final phase of the project. All land use requirements have been fulfilled, and the lots themselves will be fully improved and ready for construction.

As the lead agency in the public-private partnership that is creating New Columbia, HAP is firmly committed to the quality of the vision created by the overall master plan and the quality of the architectural design, building materials, and workmanship that will be represented in our New Columbia rental properties. We believe the design guidelines for the homeownership properties complement our efforts and will ensure long-lasting quality housing throughout New Columbia.

I hope you will consider joining us in creating a very special place that many Portlanders will be proud to call home for years to come.

Thanks for your consideration and interest.

Steve Rudman
Executive Director

NEW COLUMBIA DESIGN GUIDELINES

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message from hap

STATEMENT OF INTENT & PURPOSE

These design guidelines apply to all new development and future renovations of for sale lots in New Columbia. These design standards will address both single family and multi-family lots. Although this book sets standards and design intent, the guidelines are flexible on different elements. Any deviation from these guidelines must be approved through design review conducted by the New Columbia Architectural Review Committee.

The goals of this design book are as follows:

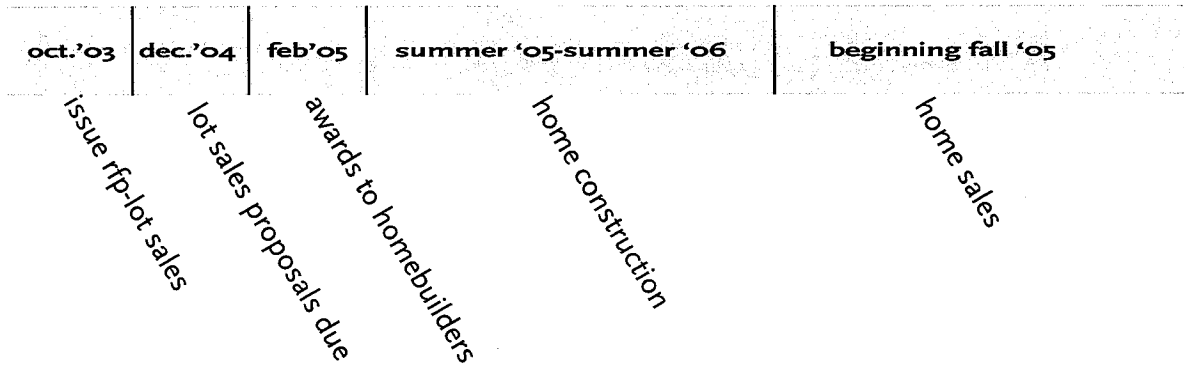
To clearly communicate the goals and design standards that the Housing Authority of Portland (HAP) will require of home builders to incorporate into the design of homes at New Columbia. This book will also assist home builders and home owners with the requirements they will need to meet in order to receive approvals from the City of Portland and HAP.

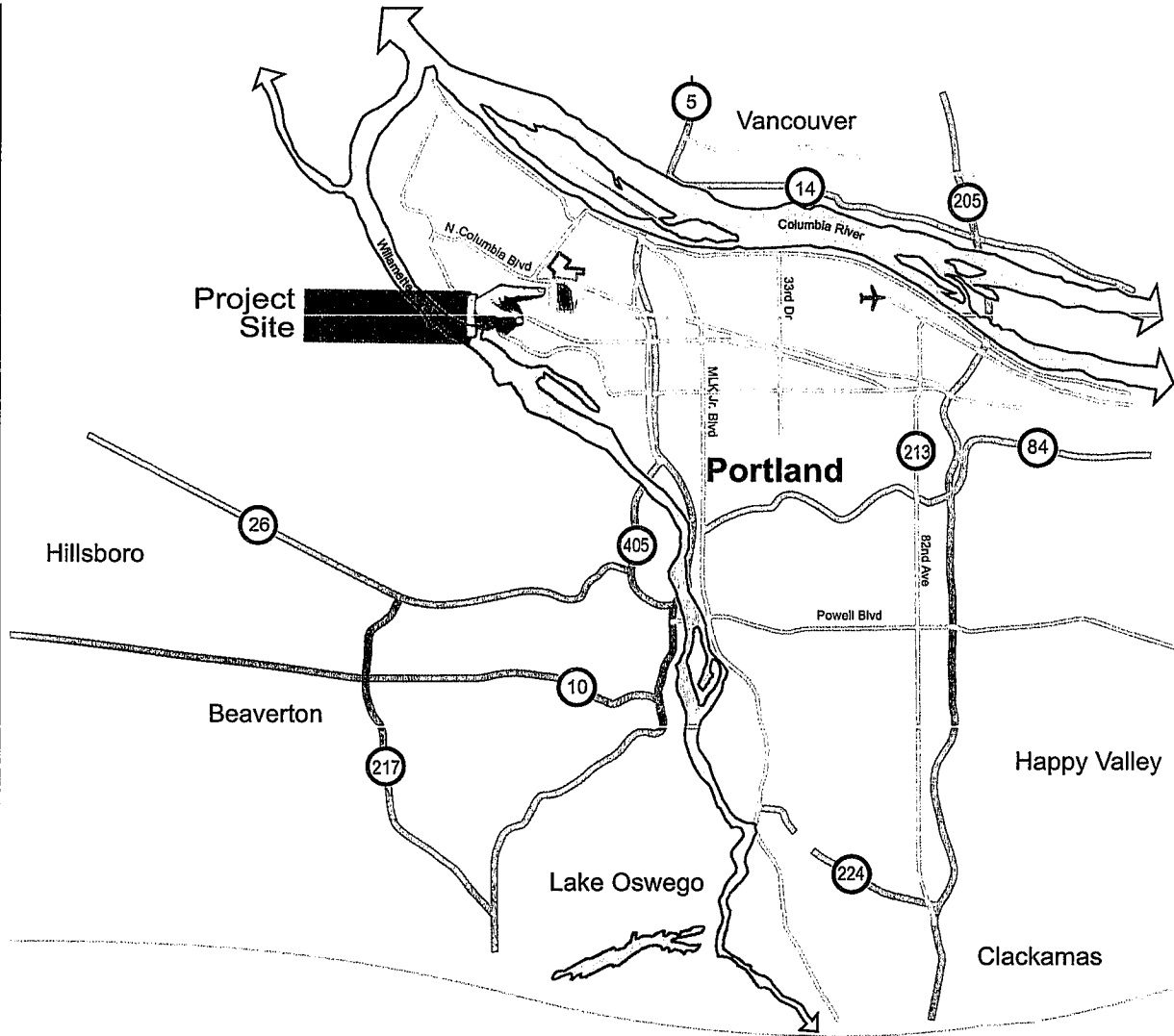
These design guidelines provide design expectations, principals and standards that have been derived from many different groups and philosophies including the Housing Authority of Portland, the City of Portland, HOPE VI goals, the current residents of Columbia Villa and surrounding neighbors.

These design guidelines augment, but do not supercede the permitting of the City of Portland. The base zone requirements of the zone apply along with the adjusted standards approved in the Land Division Application. Other regulations must be addressed during the design process. All applicable local, state, federal codes and regulations including, but not limited to building, structural, mechanical, plumbing, electrical, zoning, health, safety, OSHA, and fire codes, must be met.

This book may be revised and updated as information and circumstances change.

PHASE 2 - Lot Sales



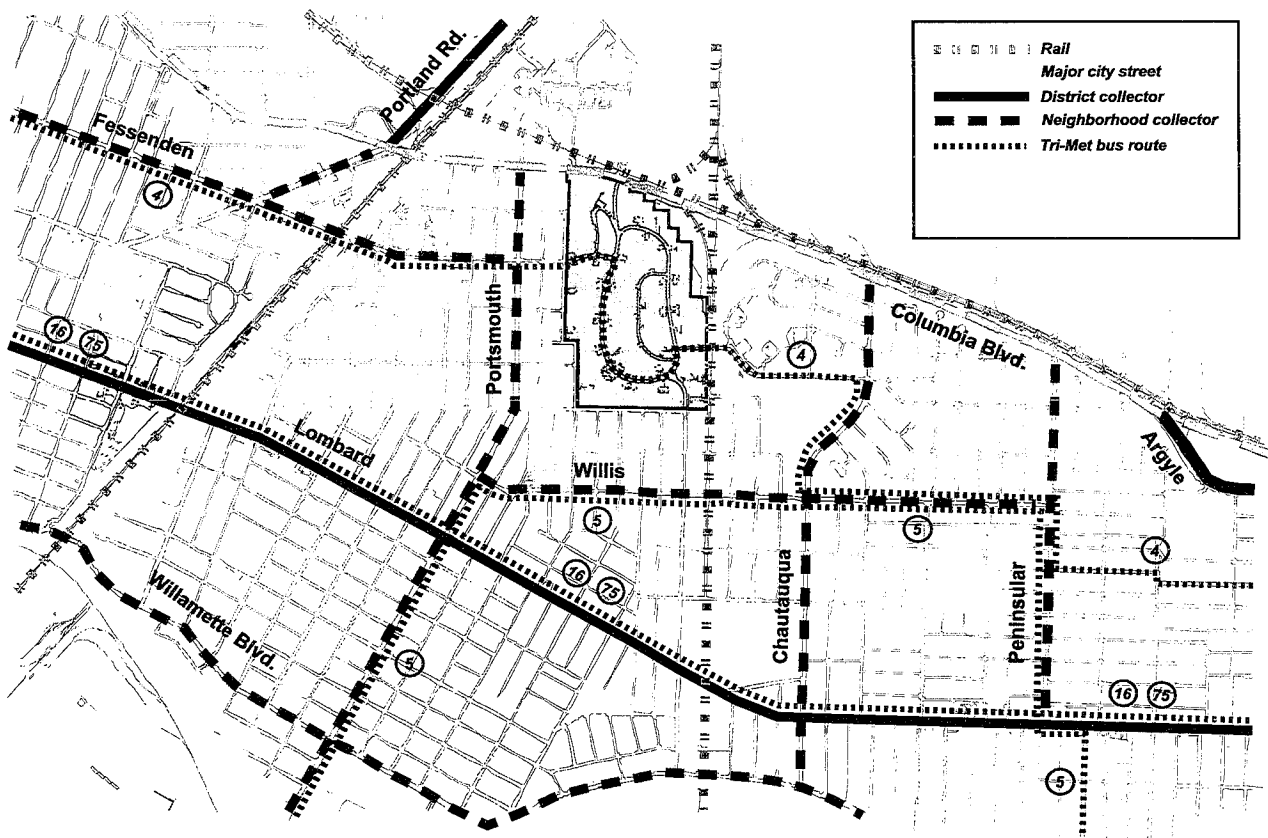


new columbia within the city of portland

New Columbia is located in North Portland, about 8 miles from the Portland City Center and 10 miles from the Portland International Airport. It is situated in the Portsmouth Neighborhood which is flanked by the Columbia & Willamette Rivers. The main access is off of Columbia Boulevard.

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing



regional features

New Columbia is located to the south of Columbia Boulevard, a major city arterial. This is the main access to the site from I-5 and from the Portland International Airport. The Tri Met #4 bus line runs through the site as well as other bus lines to the South on Willis & Lombard.

The Lombard district collector street is the major commercial district for the neighborhood. There are several additional neighborhood collector streets surrounding the site including Willis, Chatauqua, Portsmouth, and Fessenden streets. New Columbia will connect with Fessenden and other existing streets that will integrate the site with the Portsmouth neighborhood and the City of Portland.

THE PORTSMOUTH NEIGHBORHOOD



*The Portsmouth
Neighborhood in
Portland, Oregon*

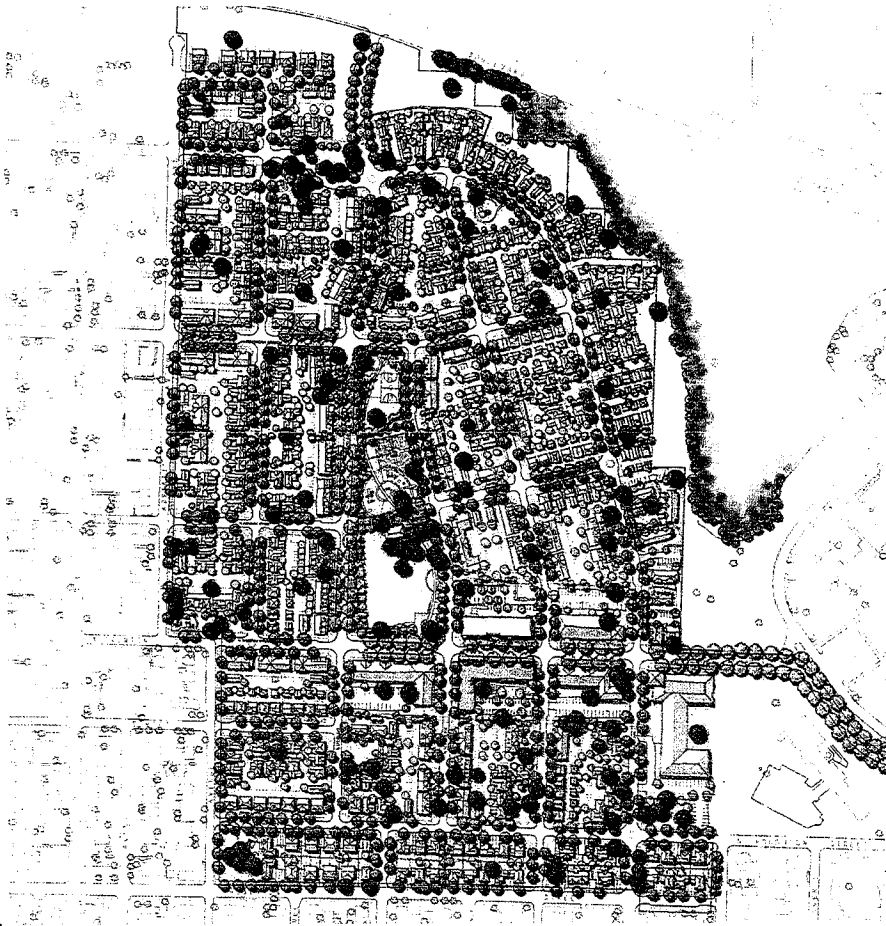
history & character --adapted from Portsmouth Neighborhood Plan

The Portsmouth Neighborhood is situated between two rivers, the Columbia and the Willamette, and it is from this geographic location that the neighborhood is said to have received its name. Situated high on the Peninsula bluff, views to the Columbia River, Mt. Hood, Mt. St. Helens, and Mt. Adams can be seen to the north side of the neighborhood. To the south, views of the grand old firs left from the original forest that inhabited this land in the late 1800's remind residents of the booming timber industry that once dominated the local economy.

The first settlers arrived in the Portsmouth area between 1846 and 1855. Portsmouth was incorporated into the city of Albina in 1891 and later that year the cities of Portland, East Portland, and Albina were consolidated into one city.

Designated by the 2000 census as the second most culturally diverse neighborhood in Portland, the residents of the Portsmouth Neighborhood value and respect different levels of economic resources, cultural traditions, family structures, ages, religions, and abilities. The neighborhood character reflects this diversity while unifying a 'sense of place' and fostering a sense of community.

NEW COLUMBIA DESIGN GUIDELINES



Overall Site Plan

the community

New Columbia will consist of 850 homes that integrate with the surrounding neighborhood in scale and character. A 3.8 acre neighborhood park will be centrally located and will serve as the “heart of the community”. Community amenities will provide the residents of New Columbia and the surrounding neighborhood with opportunities to shop, recreate, study, train for jobs, and use a wide array of civic services. New Columbia will contain a mix of housing serving a variety of incomes including 370 low income households, 184 affordable rental homes, 66 units dedicated to seniors, and 230 for sale homes. With density increased and amenities improved, New Columbia will become an integral part of the Portsmouth neighborhood.

THE PORTSMOUTH NEIGHBORHOOD

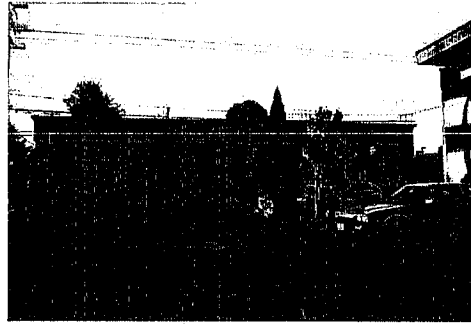
The cohesive and thoughtful neighborhood plan that was developed in 2002 evidences the collective desire to grow as a neighborhood and encourage development of a vital, energetic, pedestrian friendly environment where the residents interact and participate in the integrity of their environment. To encourage pedestrian activity, the neighborhood plan has implemented the 'Walking Together' program which encourages neighbors to exercise and interact through street improvements, banners, and community activities. Once a neighborhood that boasted only a steam engine as the primary mode of transportation, many of the residents during the late 1800's and the early 1900's walked to work or to the station as only a few city dwellers owned horses. This history of pedestrian connections and the use of public transportation continues with streetscapes that lend themselves to walkability and security through 'eyes on the street' and continued pedestrian connections and improvements.



'Walking Together' Artwork

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing



Lombard @ Portsmouth

neighborhood character

The Portsmouth neighborhood is predominately characterized by single dwelling residential homes and represents a variety of architectural styles from historic Victorian to Craftsmen bungalows. The commercial/retail area of the neighborhood is concentrated along Lombard Street between Fiske and Portsmouth. Interspersed with pedestrian-oriented store fronts are auto-oriented businesses such as fast food restaurants and auto repair/service stores. The neighborhood plan calls for the further development of pedestrian-oriented businesses and the mitigation of existing building and parking lot setbacks through buffer plantings and other methods. Columbia Park, Northgate Park, and the University Park Community Center provide residents of the Portsmouth Neighborhood with open space amenities. As outlined in the neighborhood plan, these public facilities and open spaces will be connected with designated pedestrian routes punctuated with the 'Walking Together' banners.

NEW COLUMBIA COMMUNITY VALUES & GOALS

general goals

- Blend New Columbia physically, economically and socially with other neighborhoods in North Portland.
- Serve the needs of people of varying ages, backgrounds and physical abilities.
- Provide a safe, secure, and welcoming neighborhood where families will thrive. Key elements will include a pedestrian friendly street/alley system as well as an exceptional park and open space scheme.



Existing Neighborhood

housing design

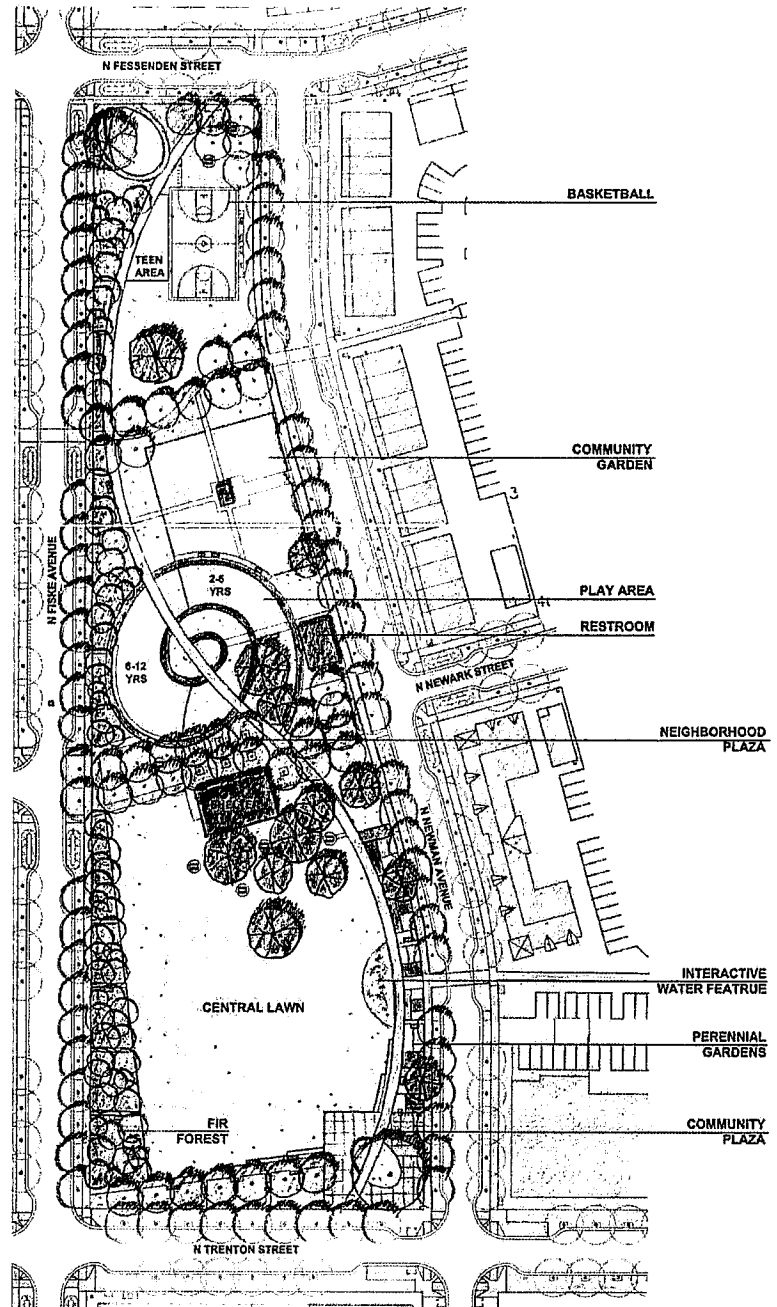
- Blend New Columbia's homes with the surrounding community; the market rate and affordable homes should be architecturally integrated.
- Create a sense of architectural variety within New Columbia in order to provide diversity and visual interest.
- Provide a variety of housing types to meet the diverse needs of different individuals and families. Homes should optimize a sense of individuality and safety while encouraging community interaction and cooperation.
- Include adequate storage, flexible room design, and maximize privacy.

COMMUNITY CONCEPTS

parks & open space

The open space system and pathway networks planned for New Columbia will blend with the existing city park system to make this development a more livable, beautiful and community-oriented place for its residents. These spaces were designed to be safe and secure parks that maximize visual supervision from homes and the community while providing appropriate separation and privacy between homes and the more active parks. The existing trees which have been an important part of this neighborhood for years were considered to be one of the most important factors in the open space plan and the parks were planned around them whenever possible.

One of the key elements that creates the center or 'heart' of New Columbia is the central park. All east-west roads and pedestrian ways lead to the park to provide easy access for all residents. This park will be a place where the residents from New Columbia and the surrounding community can gather and participate in a variety of celebrations as well as other community events. This park may include a children's play area, full basketball court, perennial garden, plaza, event area, community garden and open lawn area.



Central Park

NEW COLUMBIA DESIGN GUIDELINES

COMMUNITY CONCEPTS

parks & open space cont'

In order to create a more urban scale and encourage residents to enjoy the park, the units that front the park have higher density than the ones in the surrounding neighborhood. Adjacent homes have alley-loaded parking in order to minimize the disruptive influence of driveways and maintain a streetscape that creates a stronger edge around the park. Alley parking allows a pedestrian zone with front porches to face the park.

In addition to the main park, four pocket parks are located in New Columbia which range in size from .33 to .5 of an acre. They are evenly distributed throughout the community and provide areas where smaller children can play close to their homes. Homes front these parks for safety and are easily accessible by pedestrians. These parks will provide children's play areas and seating.

Common greens are also an important component of the open space network at New Columbia and are spread throughout the site. These spaces provide a green area where neighbors can gather together as well as a place for children to run, throw a ball and play in close proximity to their homes while parents keep a watchful eye. These areas will have homes fronting the greens and will provide access to porches and front doors.



Common Green

COMMUNITY CONCEPTS

pedestrian emphasis

The New Columbia master plan has been designed to be a pedestrian-oriented community with a street system that is easily navigated while de-emphasizing the presence of vehicles. All of the roads throughout the community include a planting strip with canopy trees and a 6' wide sidewalk, allowing pedestrians to have a sense of separation and safety from the cars. Cars will generally access the garage and parking areas from alleys and be hidden from the streetscape by carriage units and garages. In situations where parking is accessed from the street, the garage or parking area will be tucked behind the front façade of home.

All of the homes in the community will have a porch or a covered stoop. The porches will encourage people to meet their neighbors as well as provide a comfortable place to sit and converse with passing neighbors. A network of pedestrian ways will provide mid block connections. These 6' wide paved paths serve pedestrians and bikes and lead to parks, community services, a potential school, and to University Park. All lots abutting alleys will have private vehicle access to the lot from the alley only.

s a f e t y

The relationship of the buildings and streets should enable neighbors to create a safe neighborhood by providing 'eyes on the street' and should encourage interaction and community identity. Lighting will be located in the streets and in the alleys and parks. 42" high fencing will be used in the rear yards to provide privacy yet visibility in order to maximize security. Streets will include "bulb outs", raised crosswalks and other traffic calming devices to slow traffic and protect pedestrians. Parking will be located in close proximity to the units and be visible from the units. Shrubs and trees will be placed with safety as the first priority, minimizing blind corners and hiding places while still providing a lush streetscape.



Pedestrian friendly street



Safe streets with "bulb-outs"

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

COMMUNITY CONCEPTS

diversity of architecture

To fulfill the community goals for New Columbia, the rental housing and the for sale housing will be visually integrated and shall have the same quality interior and exterior construction. The housing located near the edge of New Columbia will provide an appropriate transition to the surrounding residential neighborhood. The new housing is a mix of single family attached and detached, townhomes, and stacked flats. The higher density housing is located on main street, around the neighborhood park and transit routes. Each residence will have its own front door oriented to the street or a common green. Units or fencing are generally located at the ends of alleys to help block views of parking and to maintain the streetscape along side streets.

The houses of the Portsmouth neighborhood have a variety of architectural styles. These homes include architectural details such as eaves, paned windows with vertical emphasis, porches and dormers. The homes at New Columbia will incorporate these and other details in order to be compatible with and to blend in with the existing neighborhood.



Homes in Portsmouth Neighborhood

COMMUNITY CONCEPTS

sustainability

One of the key objectives of the Housing Authority of Portland is to focus on sustainable site and building design principles by establishing green building goals for New Columbia. Homebuilders are encouraged to incorporate these goals as much as possible in the for-sale homes. Sustainable strategies incorporated by HAP provide a number of environmental, social, and economic benefits including street grid layouts and solar orientations; the stormwater management approach using surface swales and minimizing underground pipe; preservation of existing trees; and development sensitive to existing site contours.



Vegetated swale for treatment of stormwater



Existing Trees

S I T E P L A N N I N G

block studies

circulation & mobility

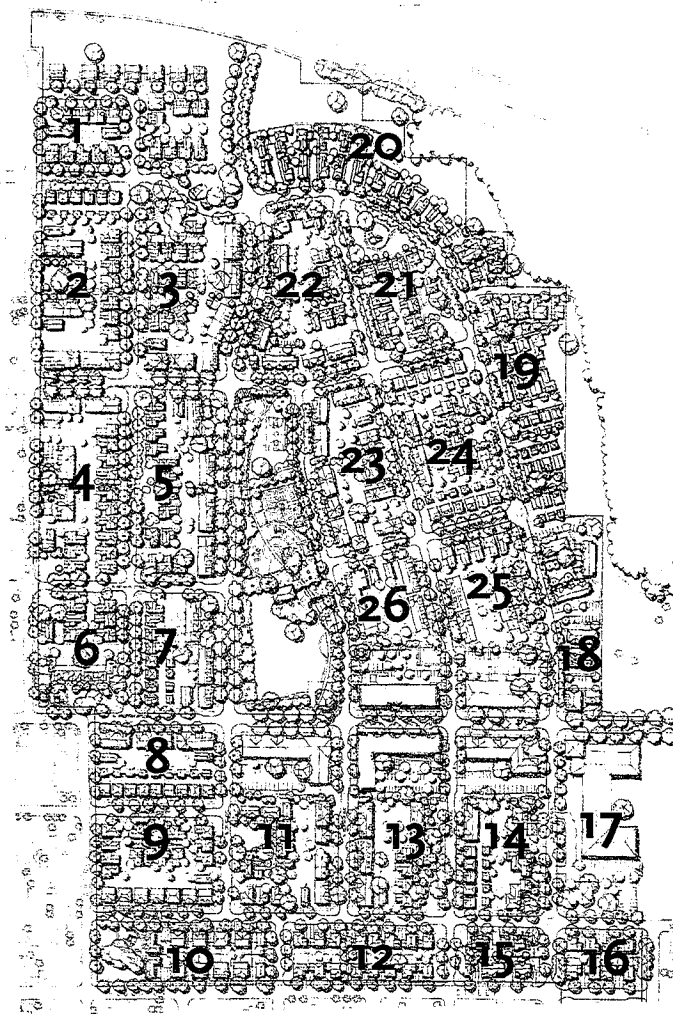
design guidelines

NEW COLUMBIA DESIGN GUIDELINES

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fall 2004

BLOCK STUDIES



overall site

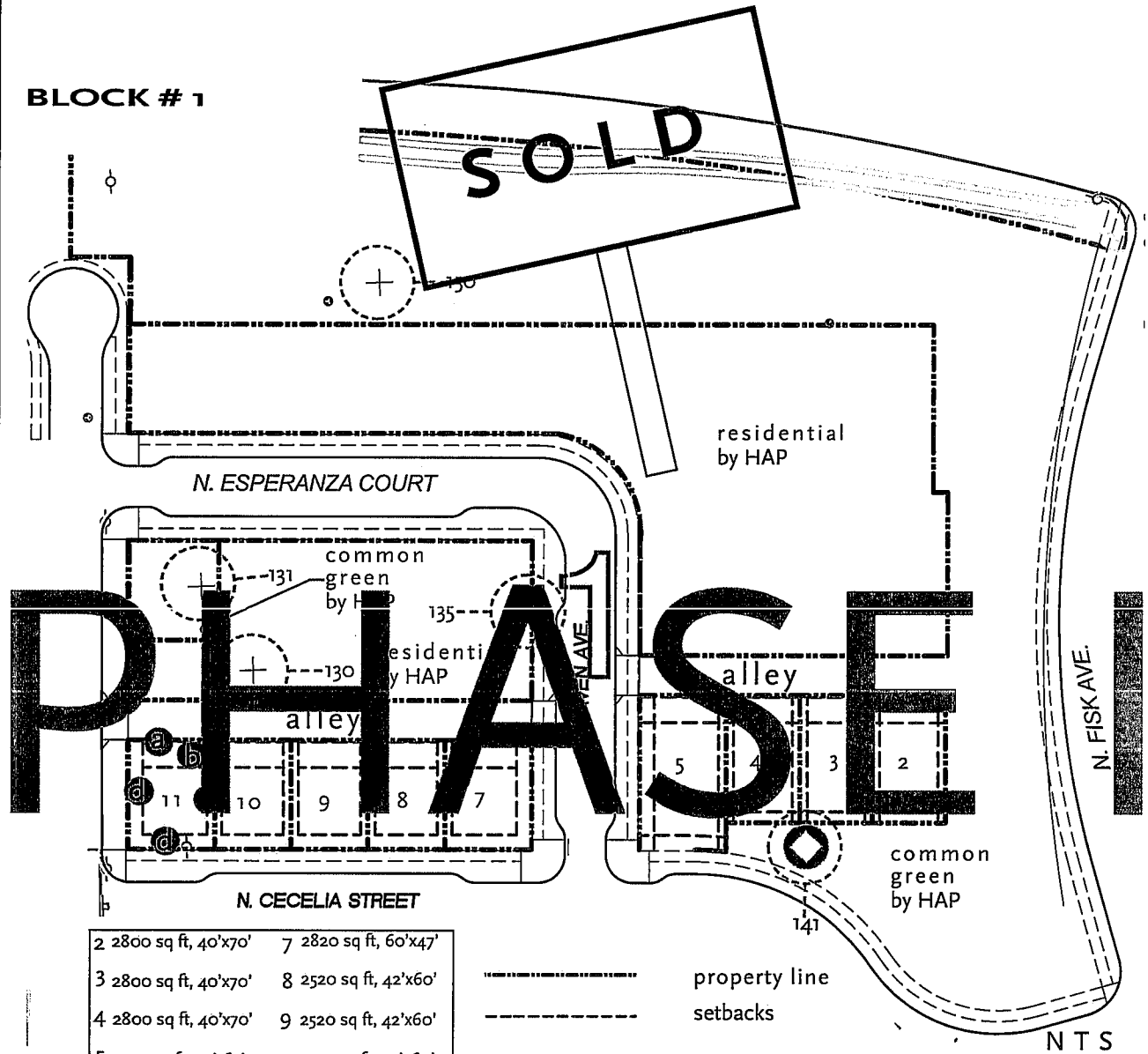
The site planning, architectural and landscape standards provide homebuilders with guidelines, standards, and specifications to follow when developing homes at New Columbia. These standards are intended to provide a balance between certainty and flexibility in how development occurs. The Housing Authority of Portland has the ability to adjust the required density on sites within New Columbia. A density increase at one location has to be balanced by an equal decrease in density at another location; so any changes to the density or other guidelines must be approved by HAP. Only minimal changes are allowed in the layout of the lots.

- Single-dwelling lots: a group of contiguous single-dwelling lots may be consolidated into a single multidwelling lot. The individual lots would remain as separate tax lots, but the interior lot lines could be ignored and structures could be built across them. The homes would have to be sold as condominiums, with common ownership of the land. The approval of HAP would be required to increase the density above the number of units already assigned to the lots.
- Slight adjustments to the lot lines are allowed by the zoning code (Chapter 33.667). This process is intended for minor corrections and must be agreed to by all affected owners. The number of lots cannot be increased or decreased, and changes must not make the lots non-conforming to the conditions of approval.

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

BLOCK # 1



2 2800 sq ft, 40'x70'	7 2820 sq ft, 60'x47'
3 2800 sq ft, 40'x70'	8 2520 sq ft, 42'x60'
4 2800 sq ft, 40'x70'	9 2520 sq ft, 42'x60'
5 4001 sq ft, 47'x85'	10 2520 sq ft, 42'x60'
	11 2820 sq ft, 47'x60'

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

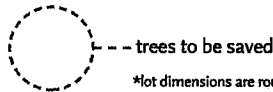
cottage homes: lots 2-4, 7-11
 village homes: lot 5

setbacks

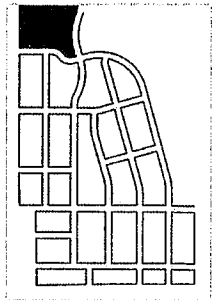
- a** 1' min rear setback at garage
- b** 15' min rear setback to house
- c** 4' min sideyard setback
- d** 8' min front & side setbacks on streets

trees to be preserved

131, 9'r
135, 9'r
150, 33.75'r
141, 30.75'r
130, 12'r



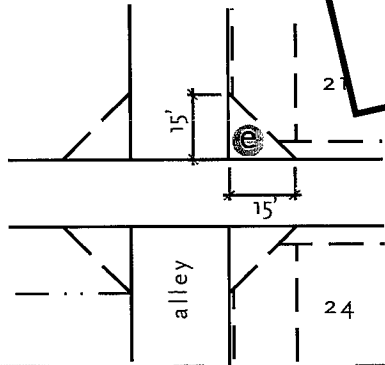
*lot dimensions are rounded to highest #



- r**---radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK #2

SOLD



pedestrian way intersection
2' height limit within 15'
setback, including landscaped
elements
(subject to simplification)

12 3399 sq ft, 40'x85'	19 2520 sq ft, 42'x60'
13 2975 sq ft, 35'x85'	20 2520 sq ft, 42'x60'
14 2975 sq ft, 35'x85'	21 2520 sq ft, 42'x60'
15 2975 sq ft, 35'x85'	24 2520 sq ft, 42'x60'
16 2975 sq ft, 35'x85'	25 2520 sq ft, 42'x60'
17 3400 sq ft, 40'x85'	26 2520 sq ft, 42'x60'
18 2570 sq ft*	

*for further detail see new columbia plat at
www.hapdx.org/newcolumbia

property line

setbacks

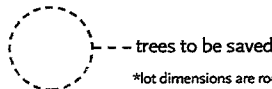
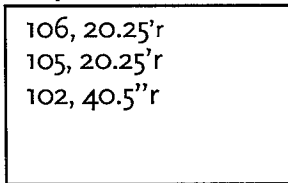
village homes: lots 12-17

cottage homes: lots 18-26

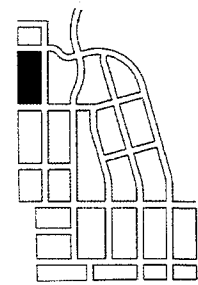
setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ 15' min corner setback--see blowup

trees to be preserved



*lot dimensions are rounded to highest #

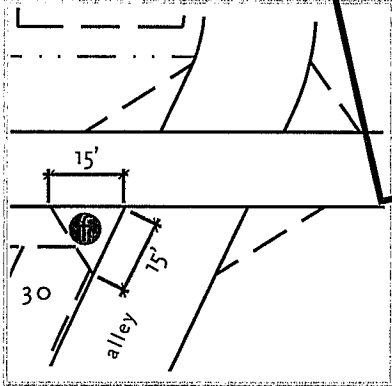


- Ⓡ--radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

BLOCK #3



pedestrian way intersection
height limit within
back including landscape
mer
subject

PHASE

green by
cost al
14,000

28 2436 sq ft, 42'x58'	34 2460 sq ft, 41'x60'
29 2806 sq ft *	35 2520 sq ft, 42'x60'
30 2992 sq ft *	36 2280 sq ft, 38'x60'
31 2385 ft *	37 2280 sq ft, 38'x60"
32 2280 sq ft, 38'x60'	38 2330 sq ft *
33 2280 sq ft, 38'x60'	39 3382 sq ft *

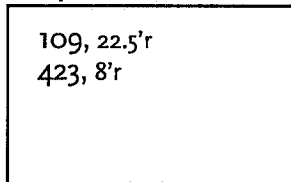
*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
----- setbacks
cottage homes: lots 28-39

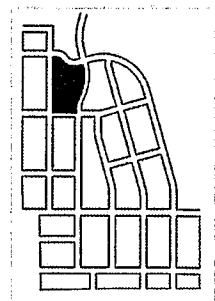
setbacks

- a** 1' min rear setback at garage
- b** 15' min rear setback to house
- c** 4' min sideyard setback
- d** 8' min front & side setbacks on streets
- e** on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line
- f** 15' min corner setback--see blowup

trees to be preserved



--- trees to be saved
*lot dimensions are rounded to highest #



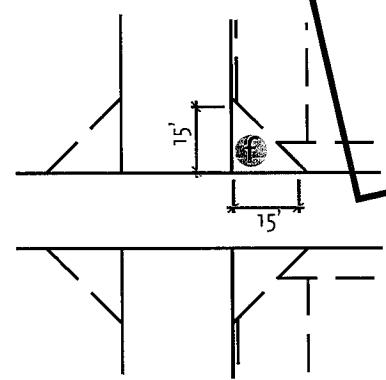
f--radius of protection
● tree removal only by written approval by ARC
● for further details, see tree preservation plan in appendix

BLOCK # 4

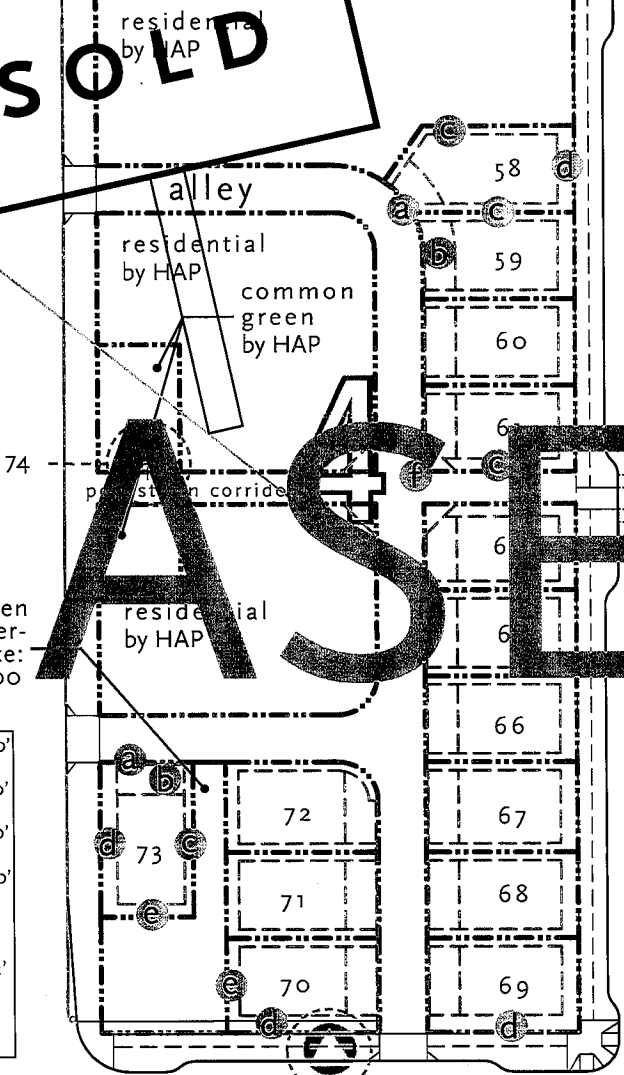
SOLD

PHASE I

PHASE II



pedestrian way intersection
2' neighborly within 15'
setback including landscap
element (subject to sign



common green
by budgeter
cost allowance:
\$15,000

58 3177 sq ft *	68 2800 sq ft, 40'x70'
59 2833 sq ft *	69 3080 sq ft, 44'x70'
60 2800 sq ft, 40'x70'	70 3080 sq ft, 44'x70'
61 2800 sq ft, 40'x70'	71 2800 sq ft, 40'x70'
64-66 2800 sq ft, 40'x70'	72 2870 sq ft *
67 2940 sq ft, 42'x70'	73 3096 sq ft, 43'x72'

*for further detail see new columbia plat at
www.hapdx.org/newcolumbia

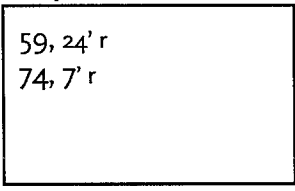
----- property line
----- setbacks

cottage homes: lots 58-61; 64-73

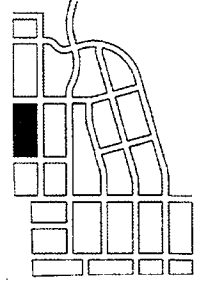
setbacks

- Ⓐ 1' min rear setback at garage
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- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line
- Ⓕ 15' min corner setback--see blowup

trees to be preserved



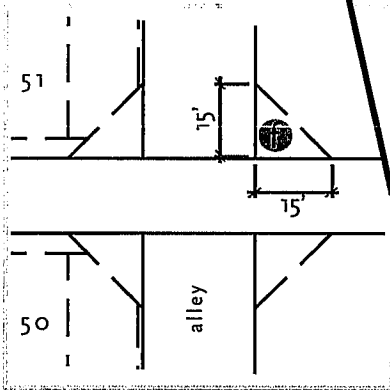
--- trees to be saved
*lot dimensions are rounded to highest #



- Ⓕ--radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

N T S

BLOCK # 5



pedestrian way intersection
2' height limit within 15'
setbacks, including landscape
elements

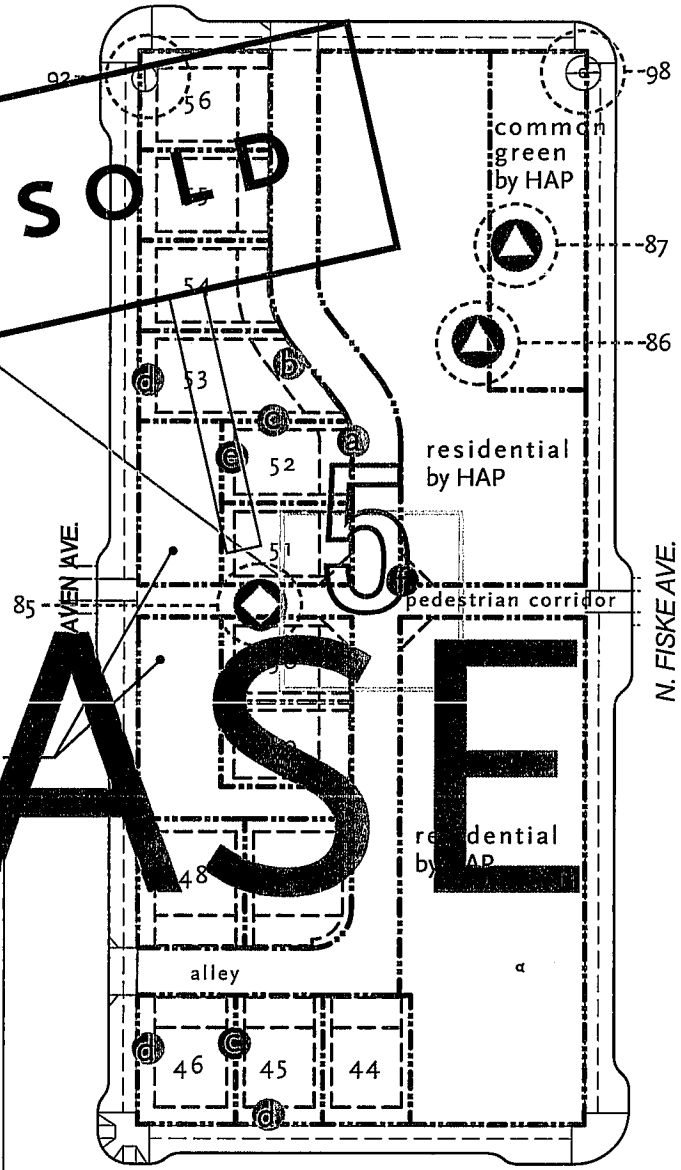
(subject to simplification)

PHASE

44	2400 sq ft, 40'x60'	50	2361 sq ft, 39'x60'
45	2400 sq ft, 40'x60'	51	2280 sq ft, 38'x60'
46	2700 sq ft, 45'x60'	52	2274 sq ft *
47	2870 sq ft *	53	3426 sq ft *
48	2940 sq ft, 49'x60'	54	2569 sq ft *
49	2361 sq ft, 39'x70'	55	2520 sq ft, 42'x60'
		56	2760 sq ft, 46'x60'

*for further detail see new columbia plat at
www.hapdx.org/newcolumbia

common green
builder-
allowance:
6,000



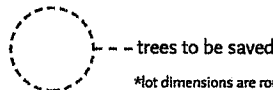
----- property line
----- setbacks
cottage homes: lots 44-56

setbacks

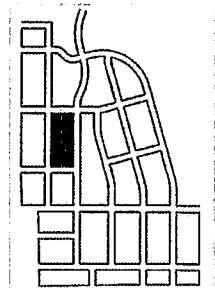
- (a) 1' min rear setback at garage
- (b) 15' min rear setback to house
- (c) 4' min sideyard setback
- (d) 8' min front & side setbacks on streets
- (e) on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line
- (f) 15' min corner setback at all alley/ped. way intersection--2' height limit

trees to be preserved

- 87, 33.75'r
- 85, 36.75'r
- 86, 39'r
- 92, 42.75'r
- 98, 28.5'r



*lot dimensions are rounded to highest #



- r -- radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

NEW COLUMBIA DESIGN GUIDELINES

BLOCK # 6

SOLD

N. NEWARK STREET

common green
by builder-
cost allowance:
\$14,000

54

79
78
77

74
75
76

PHASE I

N. HAVEN AVE.

residential
by HAP

all

74	3080 sq ft, 44'x70'	78	2760 sq ft, 40'x69'
75	2800 sq ft, 40'x70'	79	3036 sq ft, 44'x69'
76	2870 sq ft *	80	3302 sq ft *
77	2828 sq ft *		

*for further detail see new columbia plat at
www.hapdx.org/newcolumbia

pocket park
by HAP

49

42

41

43

----- property line
----- setbacks

cottage homes: lots 74-80

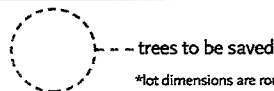
N T S

setbacks

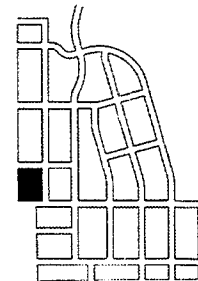
- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

41, 20.25'r 54, 24'r
42, 33.75'r 55, 20.25'r
43, 9'r
49, 30'r
53, 22.5'r



*lot dimensions are rounded to highest #



- r---radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

BLOCK # 7



PHASE I

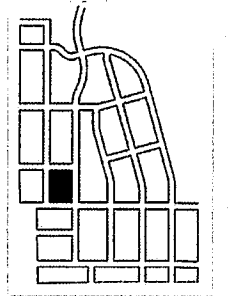
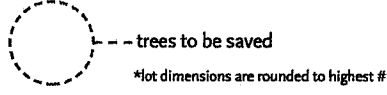
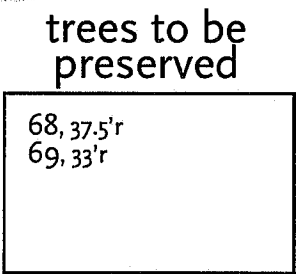
3600 sq ft, 40'x90'	2712 sq ft *
3150 sq ft, 35'x90'	2284 sq ft *
3150 sq ft, 35'x90'	2280 sq ft, 42'x60'
3132 sq ft *	2621 sq ft, 46'x60'

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

cottage homes: lots 91-94
 village homes: lots 87-90

- setbacks**
- (a) 1' min rear setback at garage
 - (b) 15' min rear setback to house
 - (c) 4' min sideyard setback
 - (d) 8' min front & side setbacks on streets
 - (e) on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line



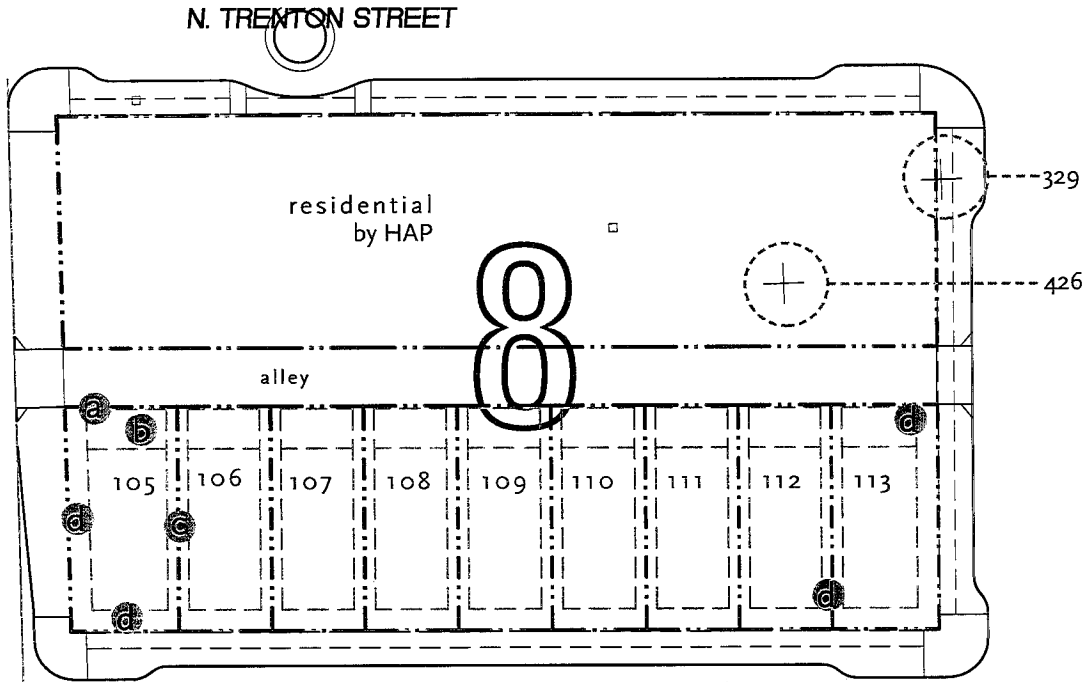
●r---radius of protection
 ●tree removal only by written approval by ARC
 ●for further details, see tree preservation plan in appendix

NTS

NEW COLUMBIA DESIGN GUIDELINES

BLOCK # 8

9 lots



105	3507 sq ft*
106-112	2975 sq ft, 35'x85'
113	3400 sq ft, 40'x85'

*for further detail see
new columbia plat at
www.hapdx.org/newcolumbia

N. HUDSON STREET

----- property line
----- setbacks

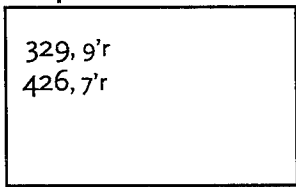
village homes: lots 105-113

N T S

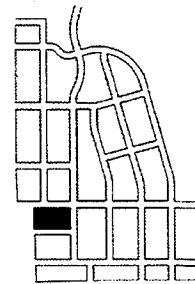
setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved



--- trees to be saved
*lot dimensions are rounded to highest #

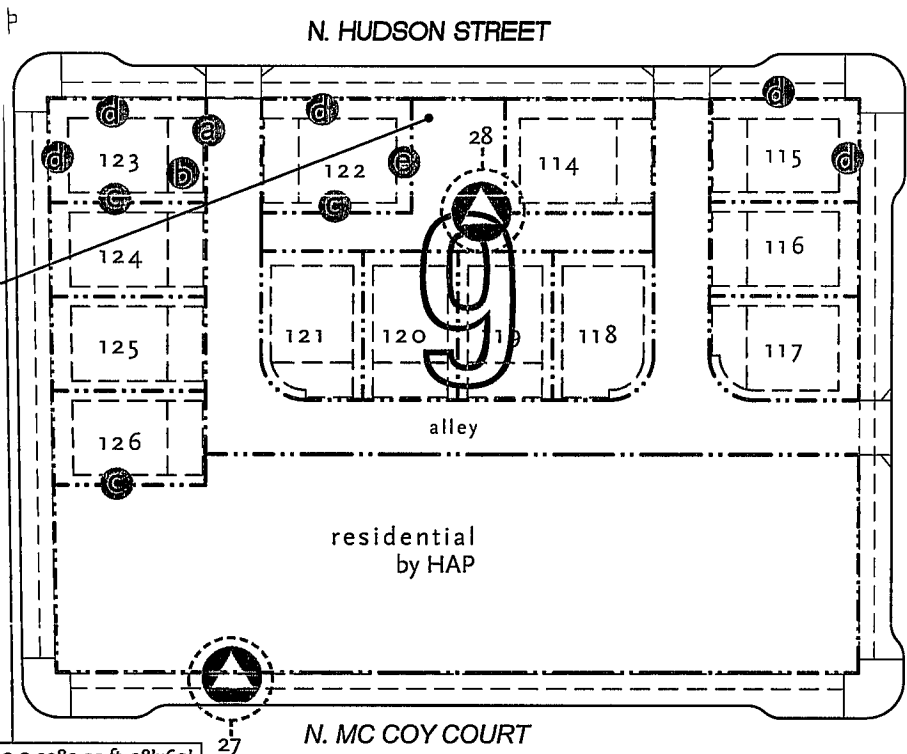


- r--radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK # 9

13 lots

common green by builder



114	2760 sq ft, 46'x60'	120	2280 sq ft, 38'x60'
115	2489 sq ft, 41'x60'	121	2375 sq ft *
116	2280 sq ft, 38'x60'	122	2760 sq ft, 46'x60'
117	2450 sq ft *	123	2618 sq ft*
118	2375 sq ft *	124	2342 sq ft, 38'x61'
119	2280 sq ft, 38'x60'	125	2317 sq ft, 38'x61'
		126	2292 sq ft *

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

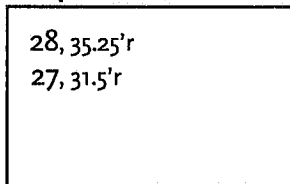
cottage homes: lots 117-126

N T S

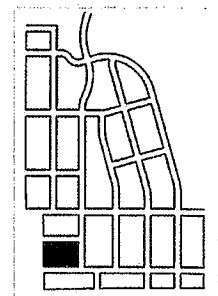
setbacks

- a** 1' min rear setback at garage
- b** 15' min rear setback to house
- c** 4' min sideyard setback
- d** 8' min front & side setbacks on streets
- e** on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved



○ --- trees to be saved
 *lot dimensions are rounded to highest #

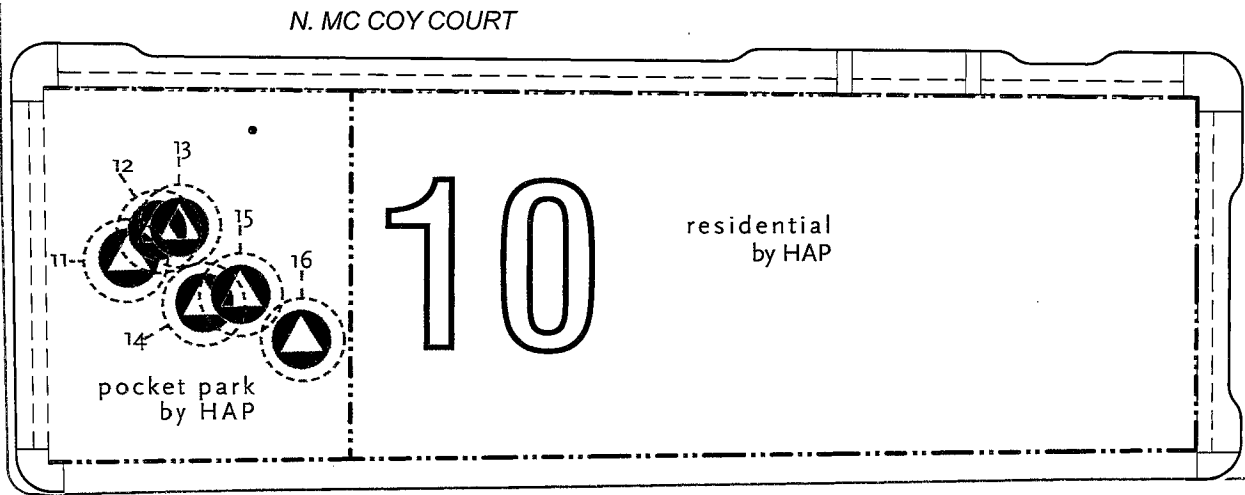


○ --- radius of protection
 ● tree removal only by written approval by ARC
 ● for further details, see tree preservation plan in appendix

NEW COLUMBIA DESIGN GUIDELINES

BLOCK # 10

0 lots



----- property line
 ----- setbacks

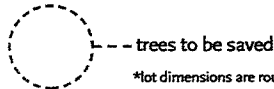
there are no for-sale homes located on this block N T S

setbacks

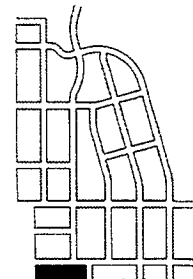
- a 1' min rear setback at garage
- b 15' min rear setback to house
- c 4' min sideyard setback
- d 8' min front & side setbacks on streets
- e on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

11, 22.5'r
12, 19.5'r
13, 23.25'r
14, 28.5'r
15, 24.75'r
16, 27'r



*lot dimensions are rounded to highest #



- r---radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK # 11

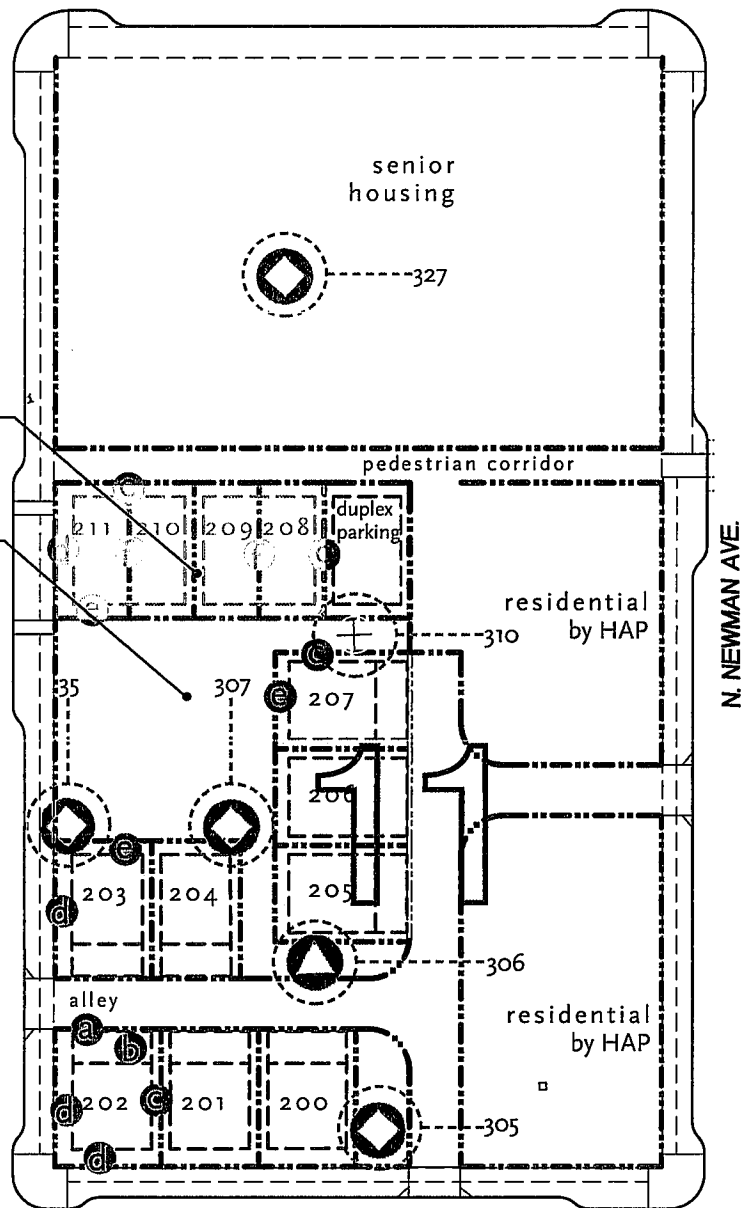
8 lots

200	2520 sq ft, 42'x60'	206	2452 sq ft, 42'x58'
201	2520 sq ft, 42'x60'	207	2452 sq ft, 42'x58'
202	2760 sq ft, 46'x60'	208	1649 sq ft, 28'x59'
203	2520 sq ft, 42'x60'	209	1649 sq ft, 28'x59'
204	2280 sq ft, 38'x60'	210	1649 sq ft, 28'x59'
205	2452 sq ft*	211	1885 sq ft, 32'x59'

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

cottage homes: lots 200-207
 duplex homes: lots 208-211



NTS

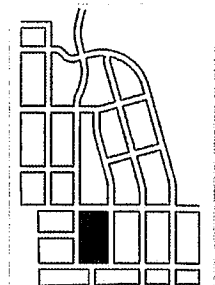
setbacks

- a** 1' min rear setback at garage
- b** 15' min rear setback to house
- c** 4' min sideyard setback
- d** 8' min front & side setbacks on streets
- e** on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line
- f** duplex--no setback

trees to be preserved

35, 27.75'r
305, 30'r
306, 30.75'r
307, 22.5'r
310, 21'r
327, 36'r

○ trees to be saved
 *lot dimensions are rounded to highest #



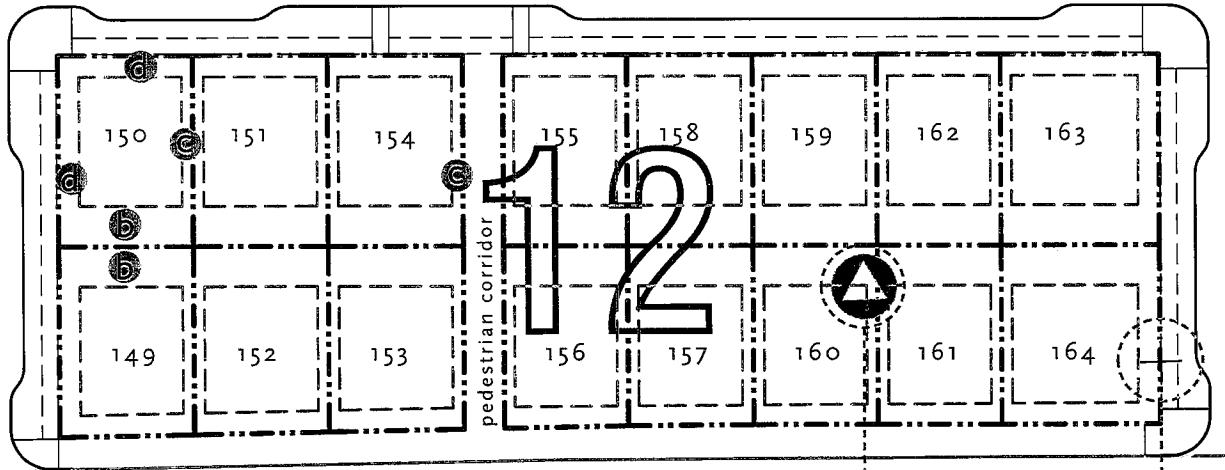
○ r -- radius of protection
 ● tree removal only by written approval by ARC
 ● for further details, see tree preservation plan in appendix

NEW COLUMBIA DESIGN GUIDELINES

BLOCK #12

16 lots

N. MC COY COURT



149	3538 sq ft*	157	3081 sq ft, 46'x67'
150	3562 sq ft, 50'x71'	158	3277 sq ft, 46'x71'
151	3562 sq ft, 50'x71'	159	3277 sq ft, 46'x71'
152	3490 sq ft, 50'x69'	160	3078 sq ft, 46'x67'
153	3442 sq ft, 50'x68'	161	3076 sq ft, 46'x67'
154	3562 sq ft, 50'x71'	162	3277 sq ft, 46'x71'
155	3277 sq ft, 46'x71'	163	4168sq ft, 59'x71'
156	3111 sq ft, 46'x67'	164	3911 sq ft, 59'x67'

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

note: homebuilder responsible for on-site stormwater disposal per City of Portland standards on all front loaded lots.

----- property line
 - - - - - setbacks

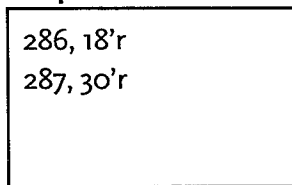
traditional homes: lots 149-164

NTS

setbacks

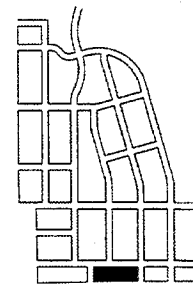
- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved



--- trees to be saved

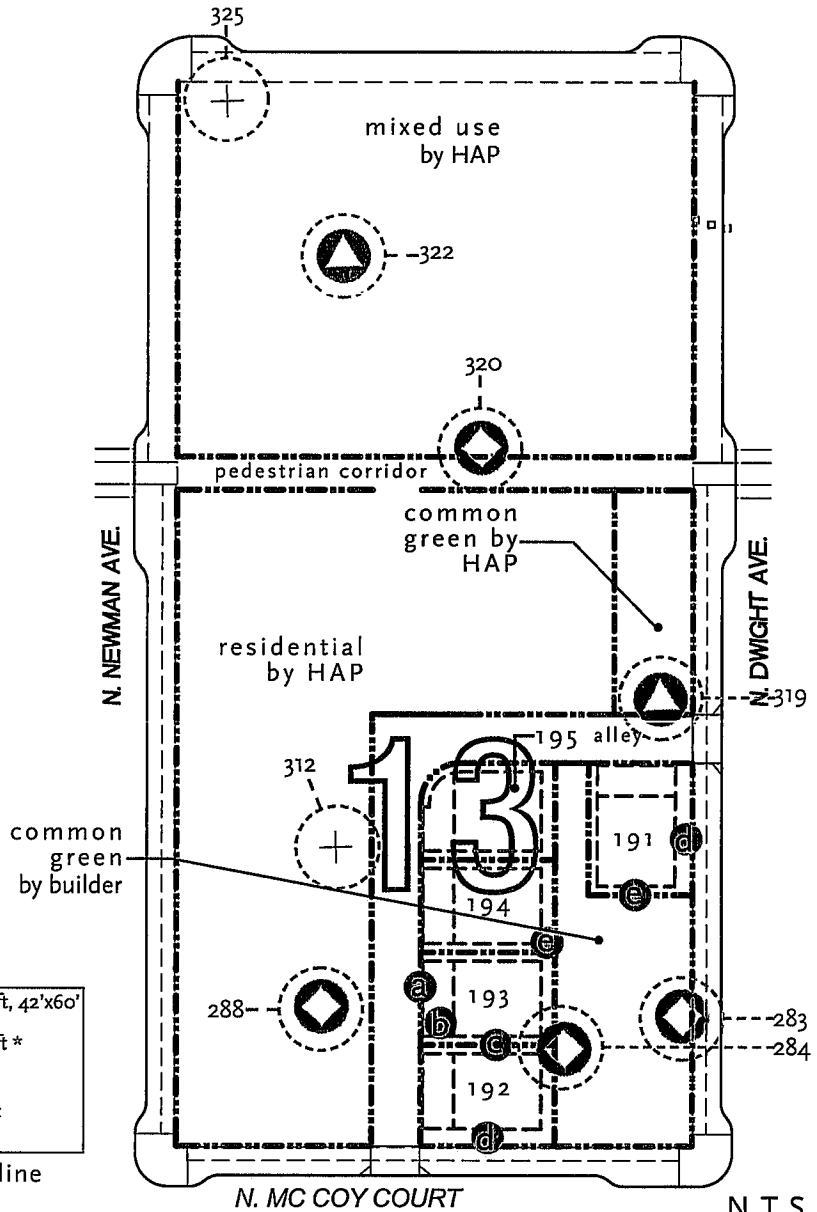
*lot dimensions are rounded to highest #



- Ⓞ radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK #13

5 lots



191	2829 sq ft, 47'x60'	194	2520 sq ft, 42'x60'
192	2760 sq ft, 46'x60'	195	2570 sq ft *
193	2520 sq ft, 42'x60'		

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

cottage homes: lots 191-195

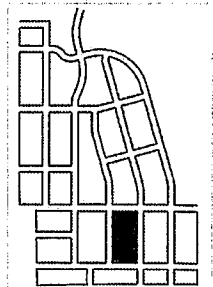
setbacks

- a** 1' min rear setback at garage
- b** 15' min rear setback to house
- c** 4' min sideyard setback
- d** 8' min front & side setbacks on streets
- e** on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

283,	27.75'r	322,	54'r
284,	30.75'r	324,	19.5'r
288,	28.5'r	325,	9'r
312,	15'r		
319,	31.5'r		
320,	31.5'r		

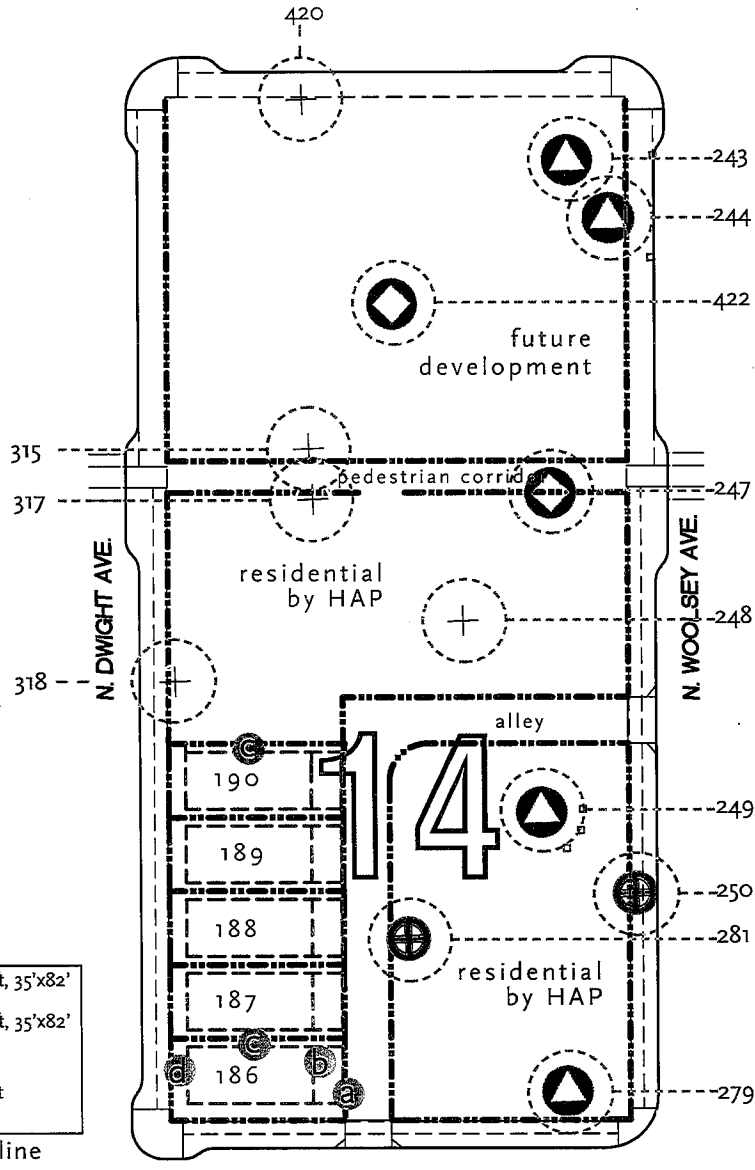
○ --- trees to be saved
 *lot dimensions are rounded to highest #



- r --- radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK #14

5 lots



186	3198 sq ft, 39'x82'	189	2870 sq ft, 35'x82'
187	2870 sq ft, 35'x82'	190	2870 sq ft, 35'x82'
188	2870 sq ft, 35'x82'		

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

N T S

village homes: lots 186-190

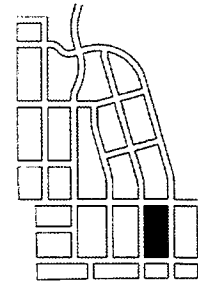
setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

243, 24.75'r	315, 18.75'r
244, 30'r	317, 25.5'r
247, 39.75'r	318, 19.5'r
248, 43.5'r	420, 8'r
249, 7.5'r	422, 33'r
250, 28.5'r	
279, 8'r	
281, 24.75'r	

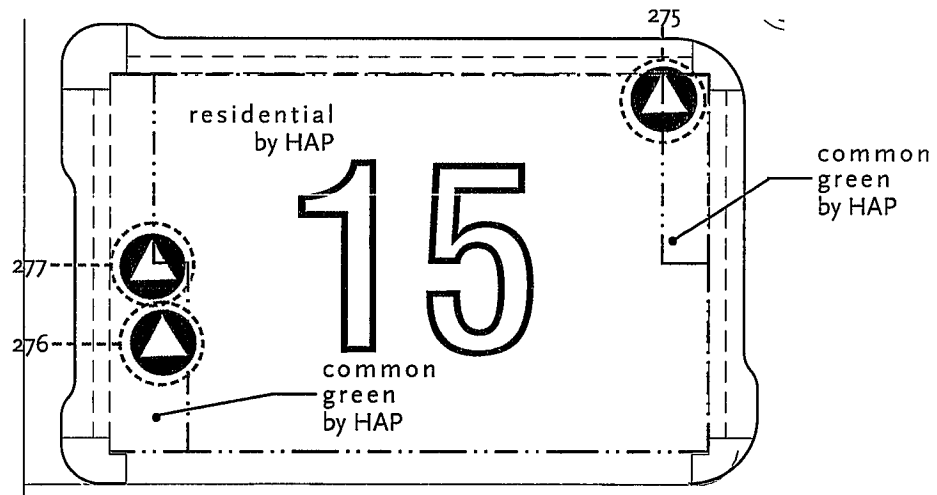
○ --- trees to be saved
 *lot dimensions are rounded to highest #



○ r --- radius of protection
 ● tree removal only by written approval by ARC
 ● for further details, see tree preservation plan in appendix

BLOCK #15

o lots



----- property line
 - - - - - setbacks

there are no for-sale lots on this block

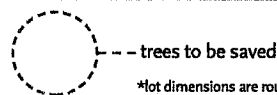
N T S

setbacks

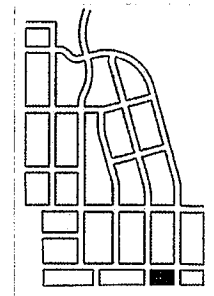
- a 1' min rear setback at garage
- b 15' min rear setback to house
- c 4' min sideyard setback
- d 8' min front & side setbacks on streets
- e 6' min front setback to main building facade, 3' min to porch on common greens

trees to be preserved

276, 18.75'r
 275, 35.25'r
 277, 27'r



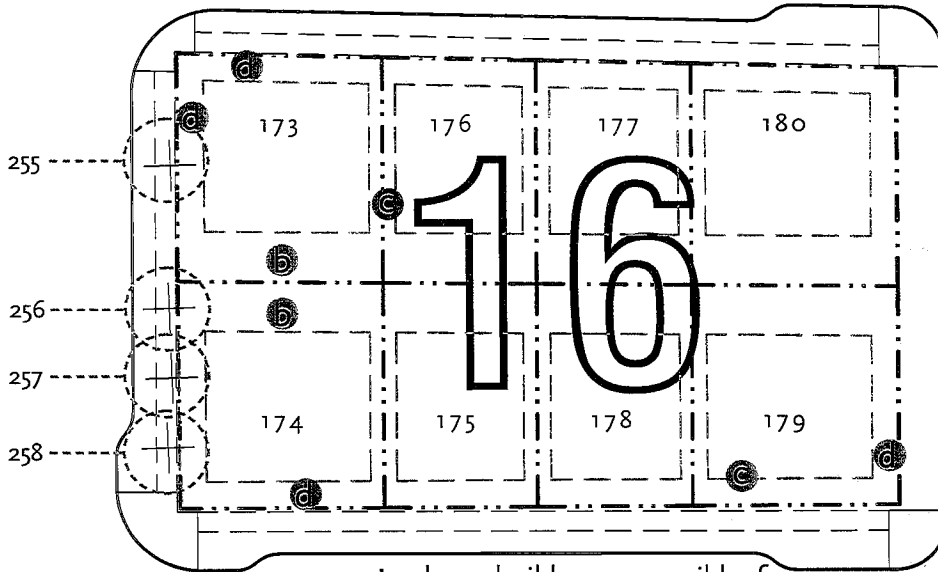
*lot dimensions are rounded to highest #



●r--radius of protection
 ●tree removal only by written approval by ARC
 ●for further details, see tree preservation plan in appendix

BLOCK #16

8 lots



note: homebuilder responsible for on-site stormwater disposal per City of Portland standards on all front loaded lots.

173 4199 sq ft *	177 3079 sq ft, 46'x67'
174 4184 sq ft *	178 3079 sq ft, 46'x67'
175 3107 sq ft, 46'x67'	179 4090 sq ft, 62'x66'
176 3107 sq ft, 46'x67'	180 4083 sq ft, 62'x66'

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

traditional homes: lots 173-180

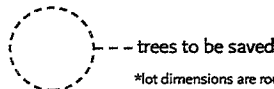
N T S

setbacks

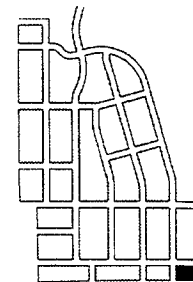
- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

255, 28.5'r
256, 39.75'r
257, 30'r
258, 8'r



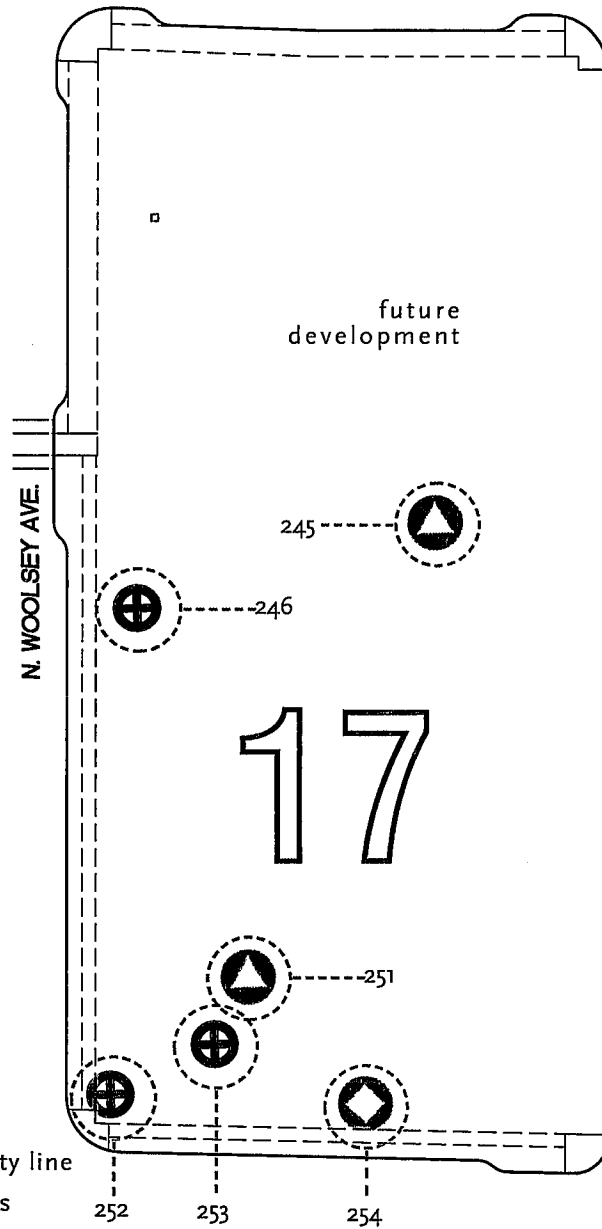
*lot dimensions are rounded to highest #



- Ⓕ---radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK #17

○ lots



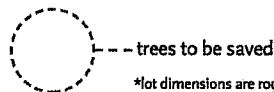
there are no for-sale lots on this block

setbacks

- a 1' min rear setback at garage
- b 15' min rear setback to house
- c 4' min sideyard setback
- d 8' min front & side setbacks on streets
- e on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

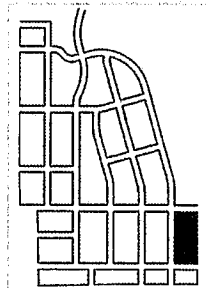
trees to be preserved

245, 27'r	246, 27'r
251, 54'r	254, 27.75'r
252, 8'r	
253, 9'r	



*lot dimensions are rounded to highest #

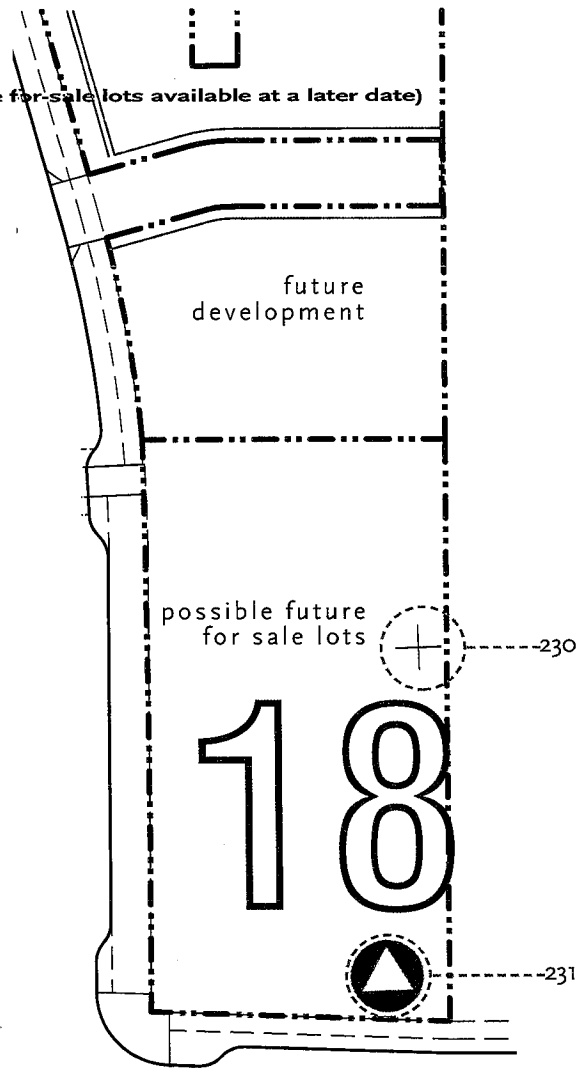
NTS



- r -- radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK #18

○ lots (possible for sale lots available at a later date)



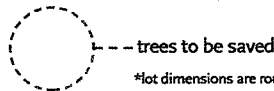
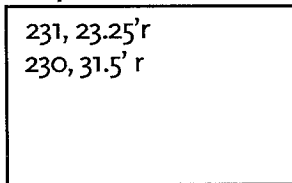
----- property line
 - - - - - setbacks

N T S

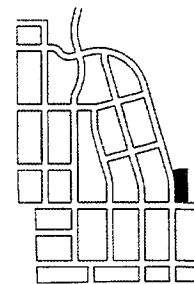
setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved



*lot dimensions are rounded to highest #



- r --- radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK #19

24 lots total

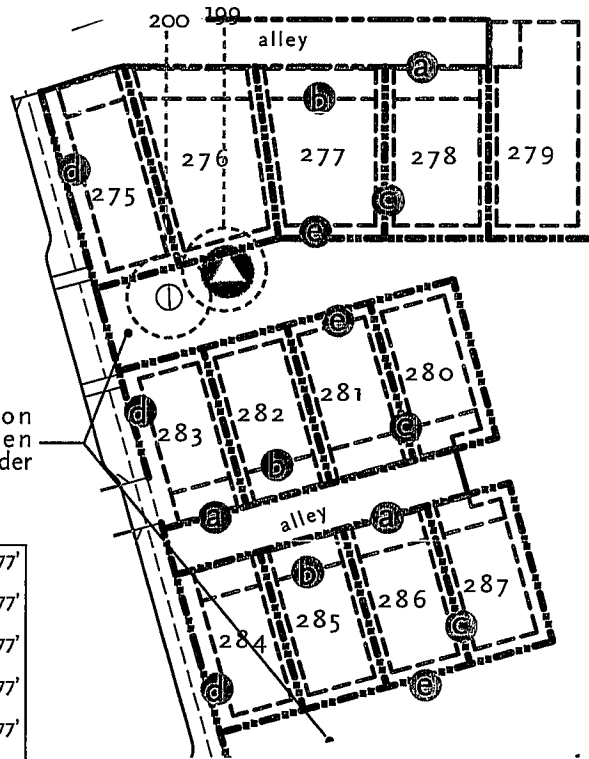
village home: lot 275
cottage homes: lots 276-287

common green by builder

275	3800 sq ft, 40' x 95'	283	3060 sq ft, 40'x77'
276	4697 sq ft *	284	3060 sq ft, 40'x77'
277	4351 sq ft *	285	3060 sq ft, 40'x77'
278	4560 sq ft, 48'x95'	286	3060 sq ft, 40'x77'
279	4896 sq ft, 49'x117'	287	3060 sq ft, 40'x77'
280	3060 sq ft, 40'x77'		
281	3060 sq ft, 40'x77'		
282	3060 sq ft, 40'x77'		

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

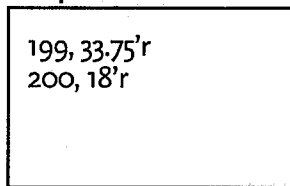
----- property line
----- setbacks



setbacks

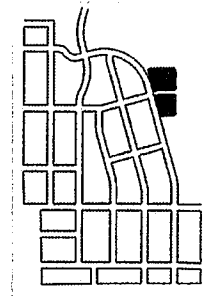
- (a) 1' min rear setback at garage
- (b) 15' min rear setback to house
- (c) 4' min sideyard setback
- (d) 8' min front & side setbacks on streets
- (e) on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved



--- trees to be saved
*lot dimensions are rounded to highest #

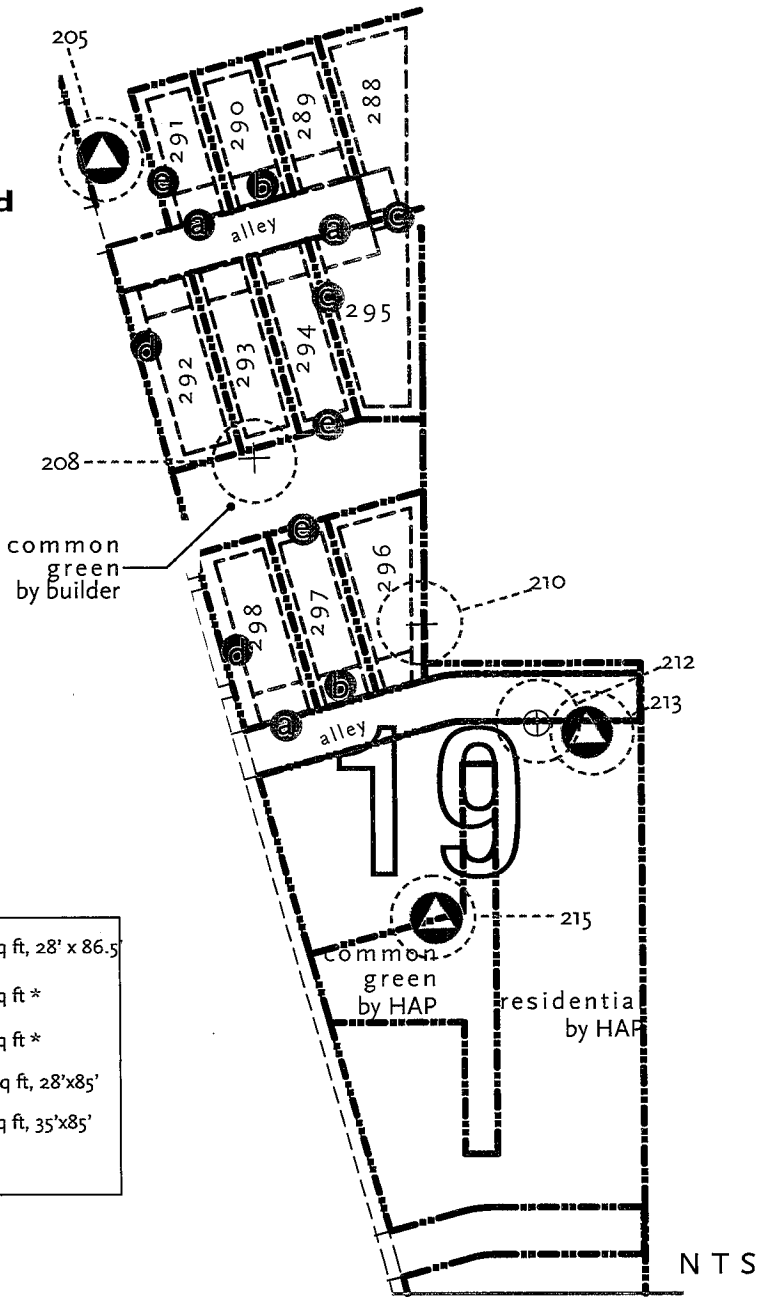
NTS



●r--radius of protection
●tree removal only by written approval by ARC
●for further details, see tree preservation plan in appendix

BLOCK #19 continued

24 lots total



duplex homes: lots 291-296

288	2520 sq ft, 42'x60'	294	2162 sq ft, 28' x 86.5'
289	2592 sq ft *	295	3762 sq ft *
290	2641 sq ft *	296	2941 sq ft *
292	2941 sq ft, 34'x86.5'	297	2380 sq ft, 28'x85'
293	2162 sq ft, 28' x 86.5'	298	2975 sq ft, 35'x85'

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

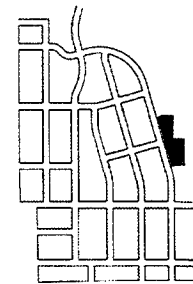
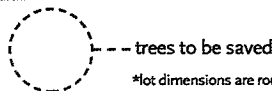
----- property line
 - - - - - setbacks

setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

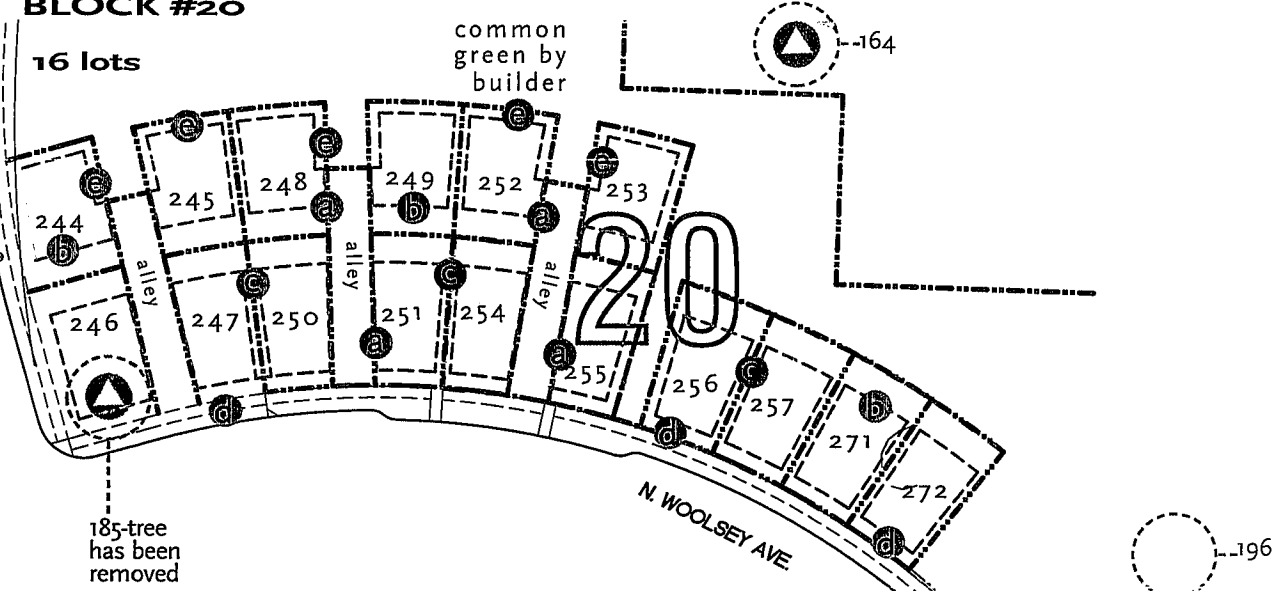
205, 33.75'r
210, 24.75'r
212, 30.75'r
213, 21.75'r
208, 27'r
215, 27'r



○ r -- radius of protection
 ● tree removal only by written approval by ARC
 ● for further details, see tree preservation plan in appendix

BLOCK #20

16 lots



185-tree has been removed

244	3481 sq ft *	251	3127 sq ft *
245	3278 sq ft *	252	3278 sq ft *
246	4027 sq ft *	253	3278 sq ft *
247	3127 sq ft *	254	3076 sq ft *
248	3278 sq ft *	255	3127 sq ft *
249	3278 sq ft *	256	3585 sq ft *
250	3127 sq ft *	257	3484 sq ft *
*for further detail see new columbia plat at www.hapdx.org/newcolumbia		271	3484 sq ft *
		272	3484 sq ft *

----- property line
 - - - - - setbacks

village homes: lots 244-255
 front loaded homes: lots 256-272

note: homebuilder responsible for on-site stormwater disposal per City of Portland standards on all front loaded lots.

setbacks

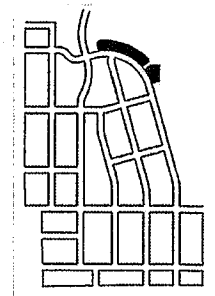
- (a) 1' min rear setback at garage
- (b) 15' min rear setback to house
- (c) 4' min sideyard & rear yard setback if front loaded
- (d) 8' min front & side setbacks on streets
- (e) on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

164, 30'r
185, 42-75'r , tree has been removed
196, 31.5'r

○ --- trees to be saved
 *lot dimensions are rounded to highest #

N T S

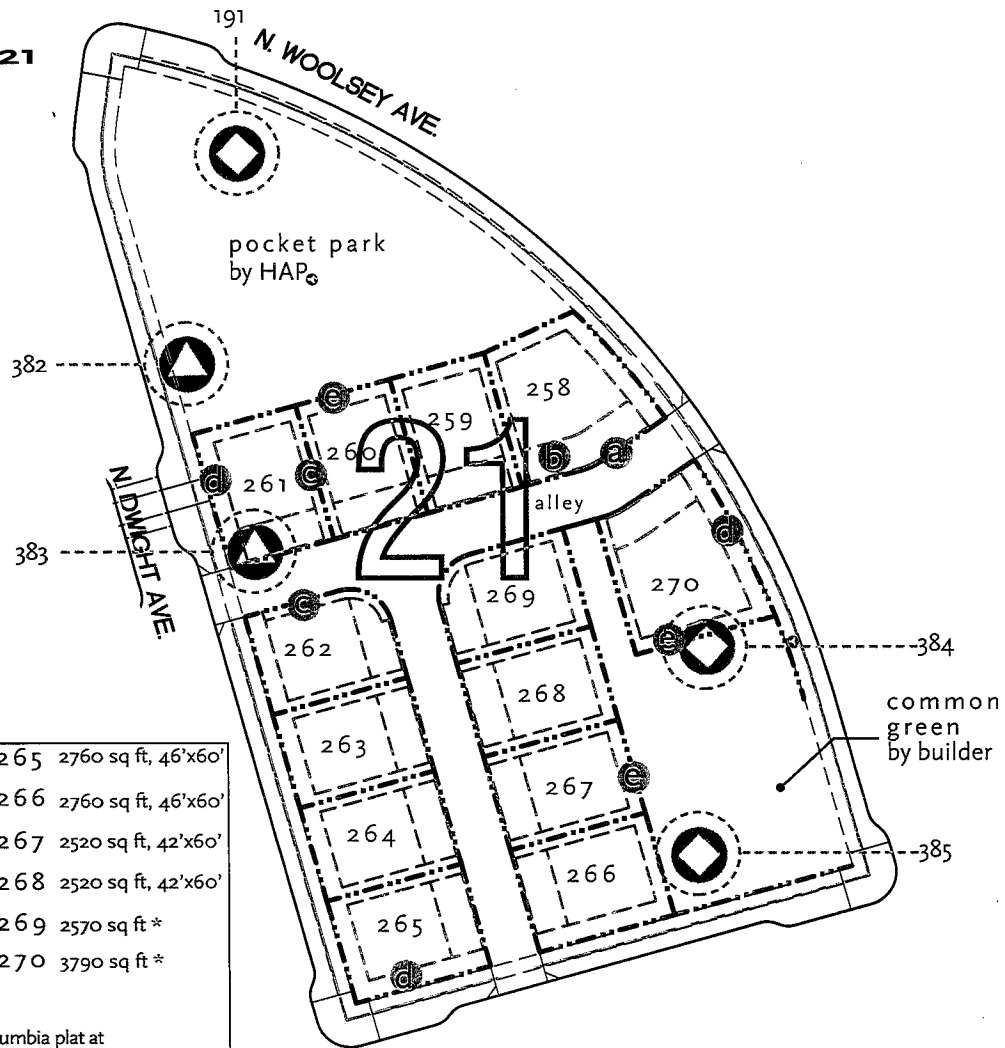


- r --- radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

NEW COLUMBIA DESIGN GUIDELINES

BLOCK #21

13 lots



258	3497 sq ft *	265	2760 sq ft, 46'x60'
259	2520 sq ft, 42'x60'	266	2760 sq ft, 46'x60'
260	2520 sq ft, 42'x60'	267	2520 sq ft, 42'x60'
261	2760 sq ft, 46'x60'	268	2520 sq ft, 42'x60'
262	2570 sq ft *	269	2570 sq ft *
263	2520 sq ft, 42'x60'	270	3790 sq ft *
264	2520 sq ft, 42'x60'		

*for further detail see new columbia plat at www.hapdx.org/newcolumbia

----- property line
 - - - - - setbacks

cottage homes: lots 258-270

setbacks

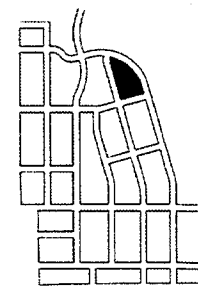
- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

191, 40.5'r	385, 33'r
382, 25.5'r	383, 18.75'r
384, 36.75'r	

○ --- trees to be saved
 *lot dimensions are rounded to highest #

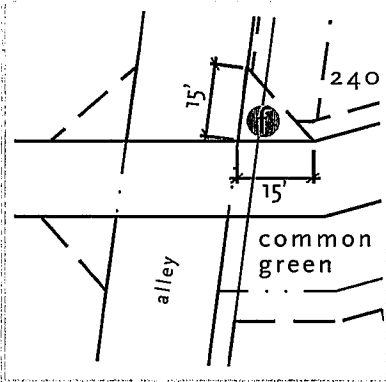
NTS



○ r --- radius of protection
 ● tree removal only by written approval by ARC
 ● for further details, see tree preservation plan in appendix

BLOCK #22

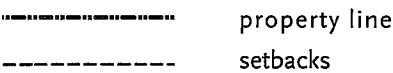
6 lots



pedestrian way intersection
2' height limit within 15'
setbacks, including landscape
elements
(subject to simplification)

232	3045 sq ft, 35'x87'	241	3292 sq ft *
237	2848 sq ft *	242	2625 sq ft *
238	2280 sq ft, 38'x60'		
239	2520 sq ft, 42'x60'		
240	3969 sq ft *		

*for further detail see new columbia plat at
www.hapdx.org/newcolumbia



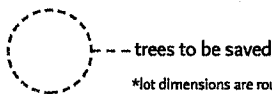
cottage homes: lots 237-242

setbacks

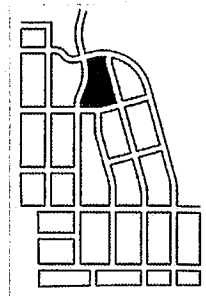
- a 1' min rear setback at garage
- b 15' min rear setback to house
- c 4' min sideyard setback
- d 8' min front & side setbacks on streets
- e on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line
- f 15' min corner setback--see blowup

trees to be preserved

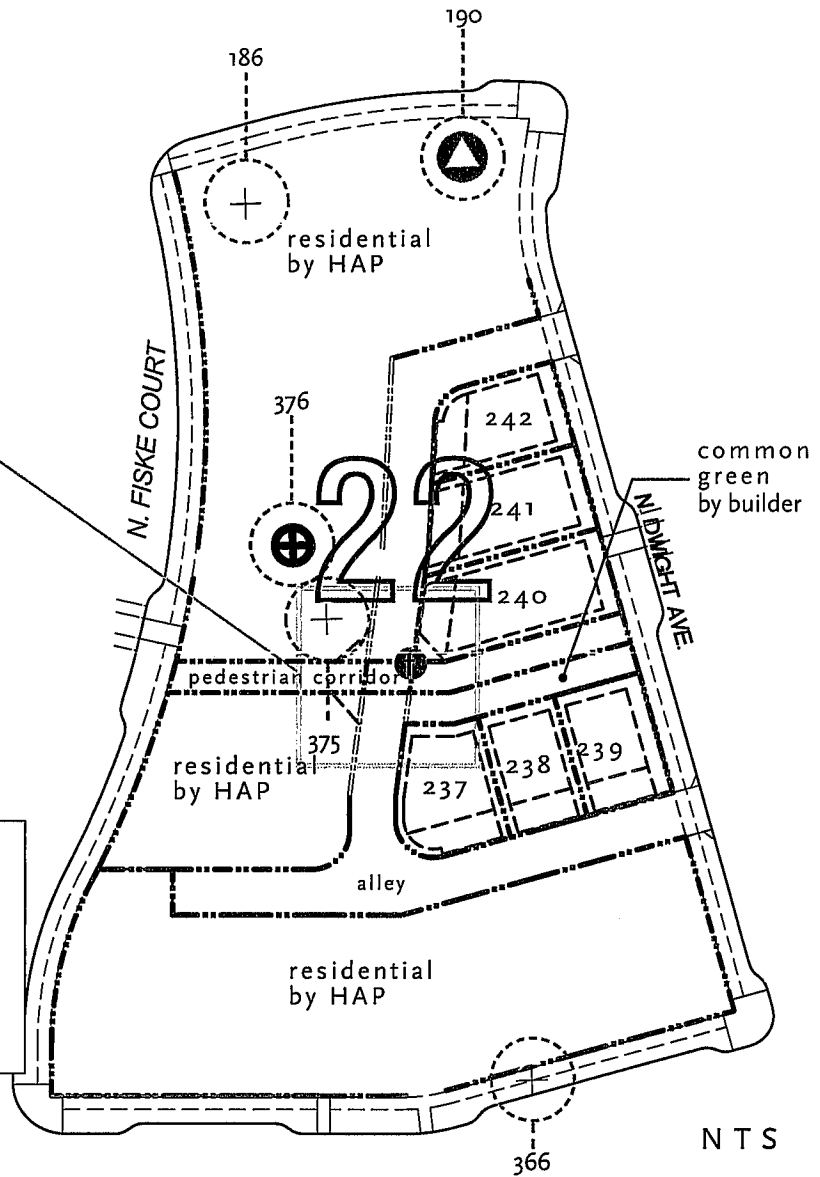
186,	22.5'r
190,	33'r
366,	13.5'r
375,	27'r
376,	37.5'r



*lot dimensions are rounded to highest #



- r--radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

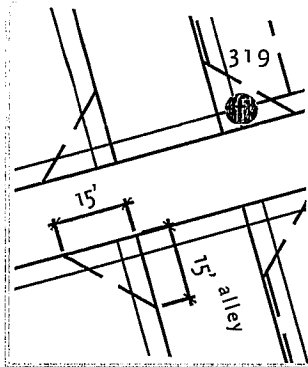


NTS

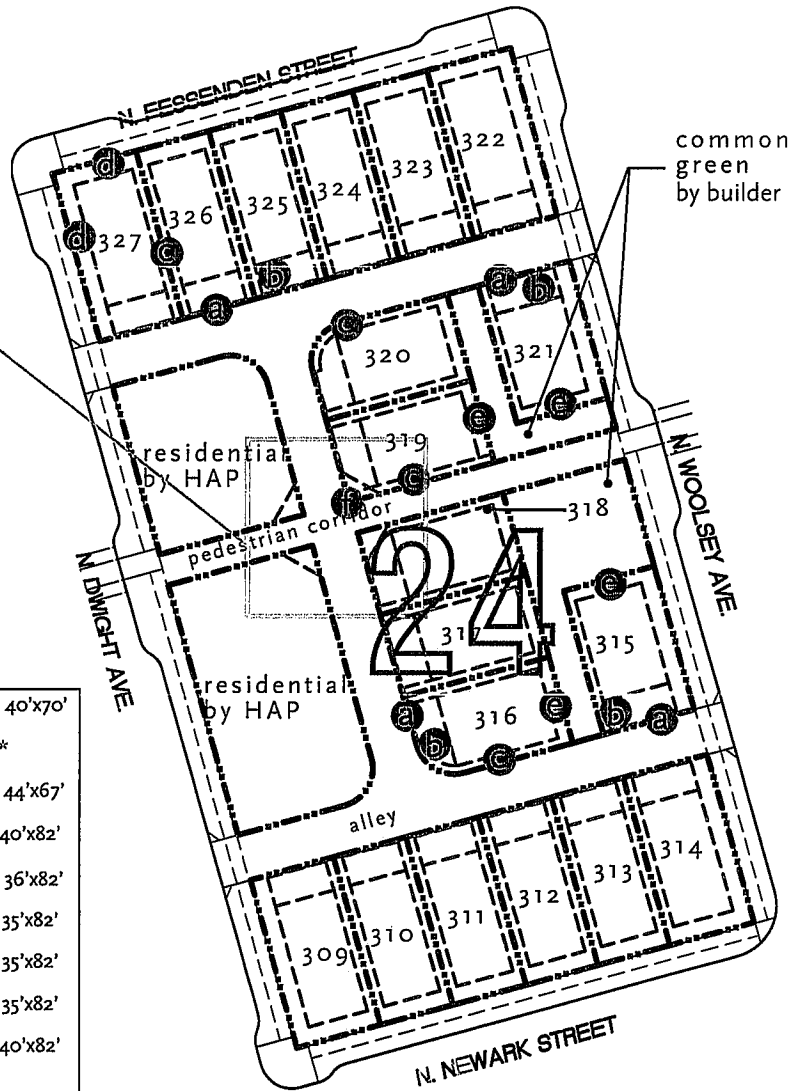
NEW COLUMBIA DESIGN GUIDELINES

BLOCK #24

19 lots



pedestrian way intersection
2' height limit within 15'
setbacks, including
landscape elements
(subject to simplification)



309	3317 sq ft, 41'x82'	319	2800 sq ft, 40'x70'
310	2867 sq ft, 35'x82'	320	2870 sq ft *
311	2867 sq ft, 35'x82'	321	2948 sq ft, 44'x67'
312	2867 sq ft, 35'x82'	322	3277 sq ft, 40'x82'
313	2867 sq ft, 35'x82'	323	2949 sq ft, 36'x82'
314	3317 sq ft, 41'x82'	324	2867 sq ft, 35'x82'
315	3080 sq ft, 44'x70'	325	2867 sq ft, 35'x82'
316	2870 sq ft *	326	2867 sq ft, 35'x82'
317	2800 sq ft, 40'x70'	327	3277 sq ft, 40'x82'
318	2800 sq ft, 40'x70'		

*for further detail see new columbia plat at
www.hapdx.org/newcolumbia

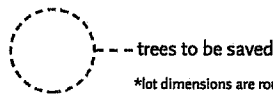
----- property line
----- setbacks
cottage homes: lots 315-321
village homes: lots 309-314; 322-327

setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line
- Ⓕ 15' min corner setback--see blowup

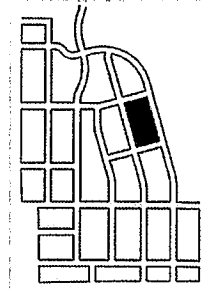
trees to be preserved

none this block



*lot dimensions are rounded to highest #

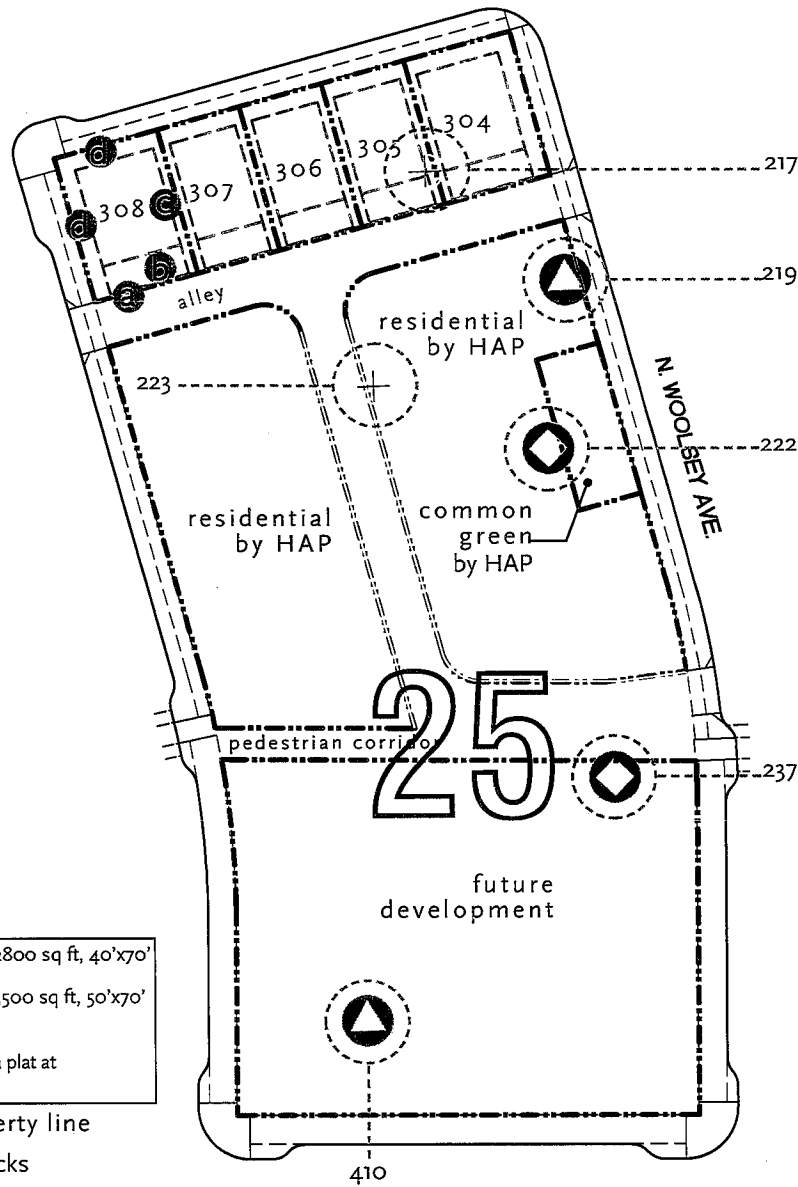
N T S



- Ⓐ--radius of protection
- tree removal only by written approval by ARC
- for further details, see tree preservation plan in appendix

BLOCK #25

5 lots



304 3570 sq ft, 51'x70'	307 2800 sq ft, 40'x70'
305 2800 sq ft, 40'x70'	308 3500 sq ft, 50'x70'
306 2800 sq ft, 40'x70'	
*for further detail see new columbia plat at www.hapdx.org/newcolumbia	

----- property line
 - - - - - setbacks
 cottage homes: lots 304-308

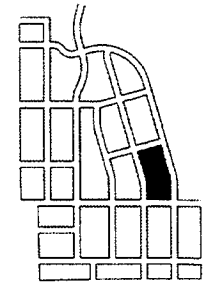
setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

trees to be preserved

217, 39'r	237, 40.5'r
219, 49.5'r	410, 30.75'r
222, 39'r	
223, 36.75'r	

○ --- trees to be saved
 *lot dimensions are rounded to highest #

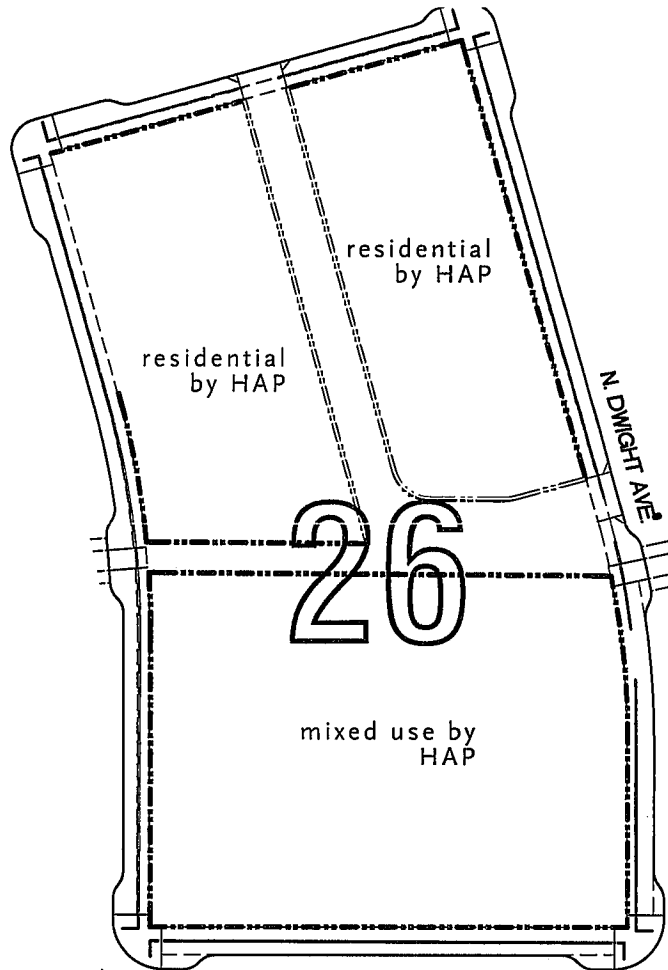


○ --- radius of protection
 ● tree removal only by written approval by ARC
 ● for further details, see tree preservation plan in appendix

NTS

BLOCK #26

o lots



----- property line
 ----- setbacks

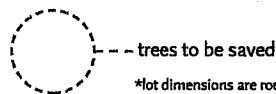
there are no for-sale lots on this block

setbacks

- Ⓐ 1' min rear setback at garage
- Ⓑ 15' min rear setback to house
- Ⓒ 4' min sideyard setback
- Ⓓ 8' min front & side setbacks on streets
- Ⓔ on common greens: 6' min front setback to main building facade, 3' min to porch, porch stairs may extend to property line

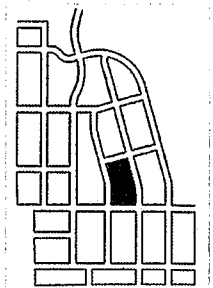
trees to be preserved

none this block



*lot dimensions are rounded to highest #

N T S

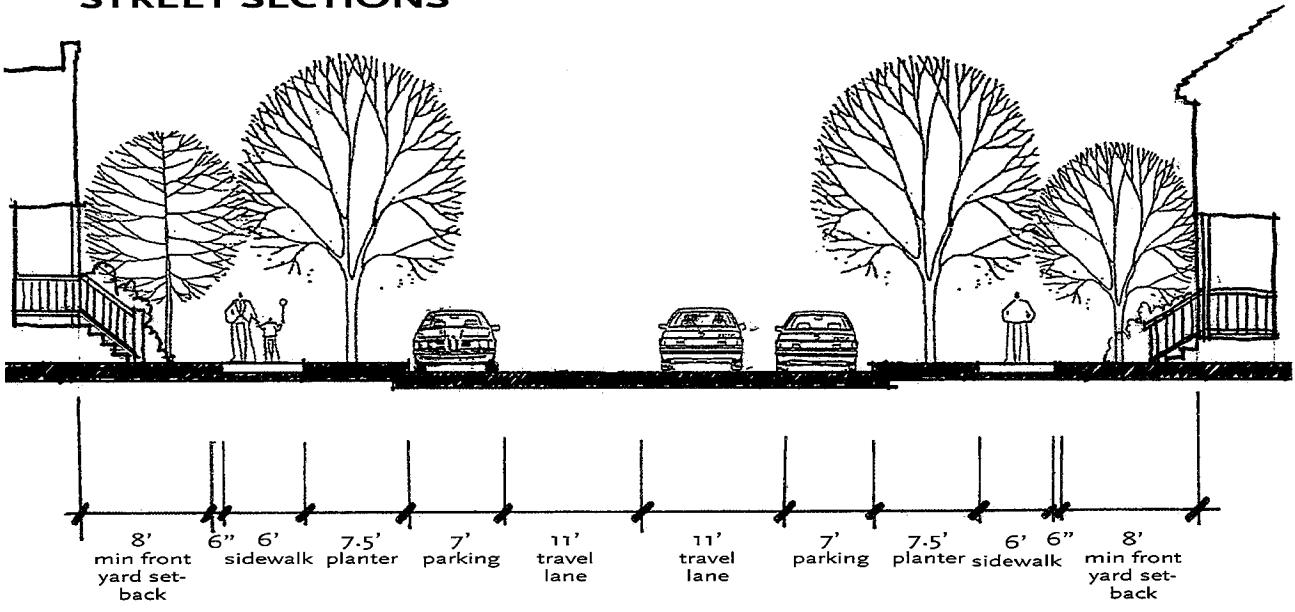


● r--radius of protection
 ● tree removal only by written approval by ARC
 ● for further details, see tree preservation plan in appendix

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

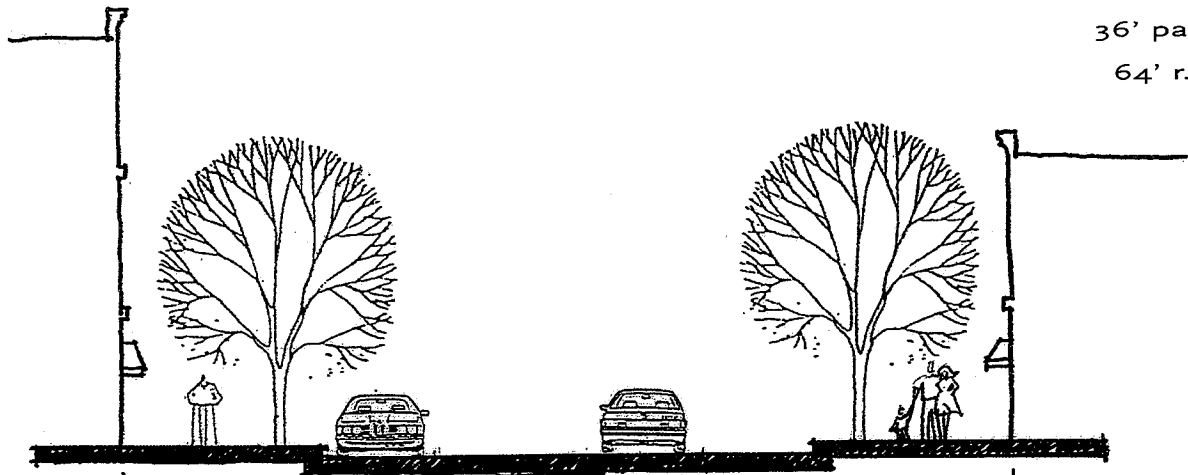
STREET SECTIONS



8' min front yard set-back
 6" sidewalk
 6' planter
 7.5' parking
 7' travel lane
 11' travel lane
 11' parking
 7' planter
 7.5' sidewalk
 6' 6" min front yard set-back
 8'

residential street

parking both sides
 36' paved
 64' r.o.w.



14' sidewalk
 7' park
 11' driving lane
 11' driving lane
 7' park
 14' sidewalk

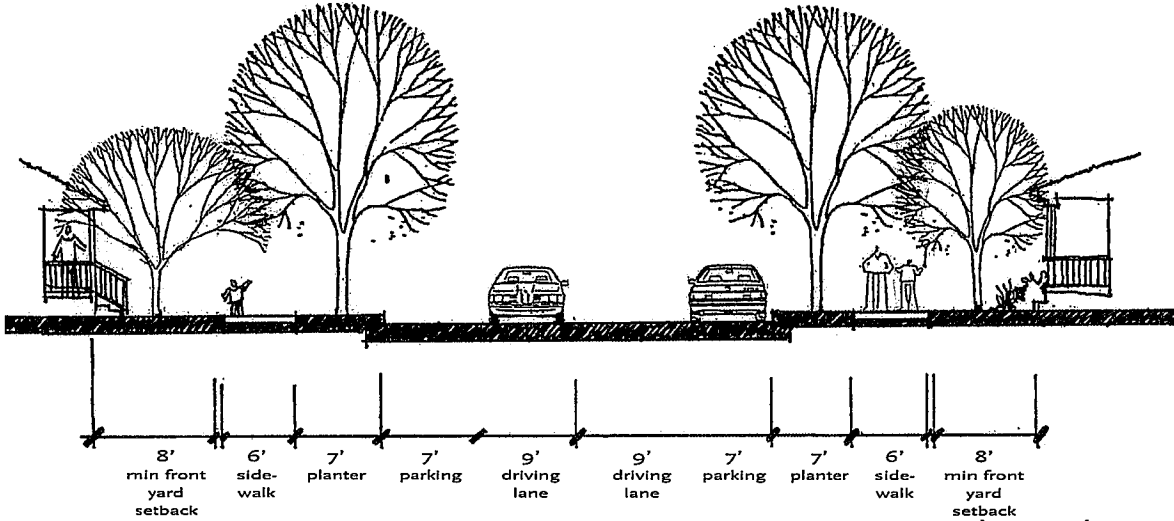
commercial street

parking both sides
 36' paved
 64' r.o.w.

NEW COLUMBIA DESIGN GUIDELINES

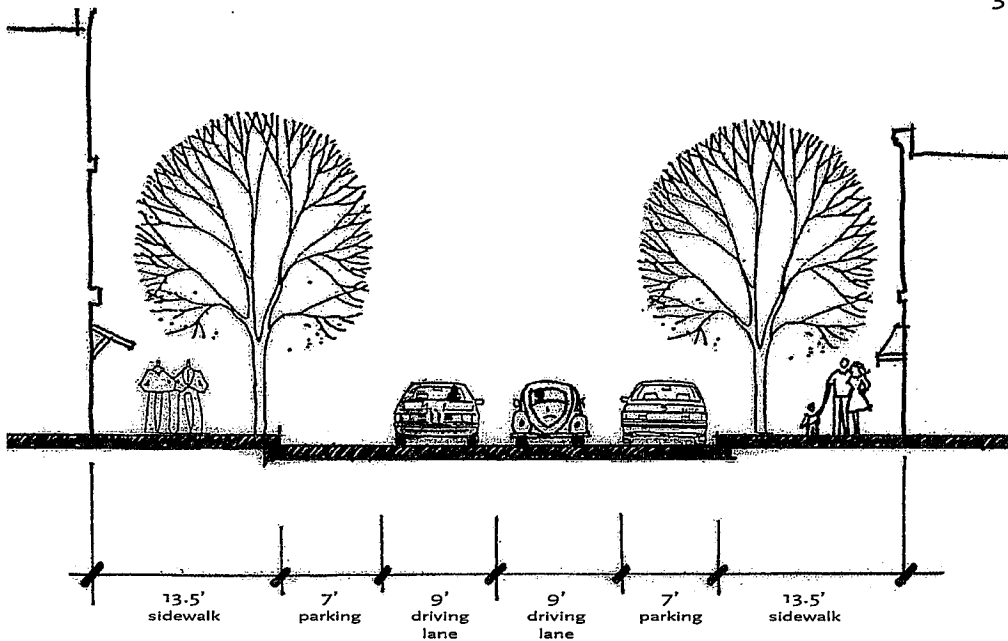
Phase II Housing

STREET SECTIONS



residential street

parking both
sides
32' paved
59' r.o.w.



commercial street

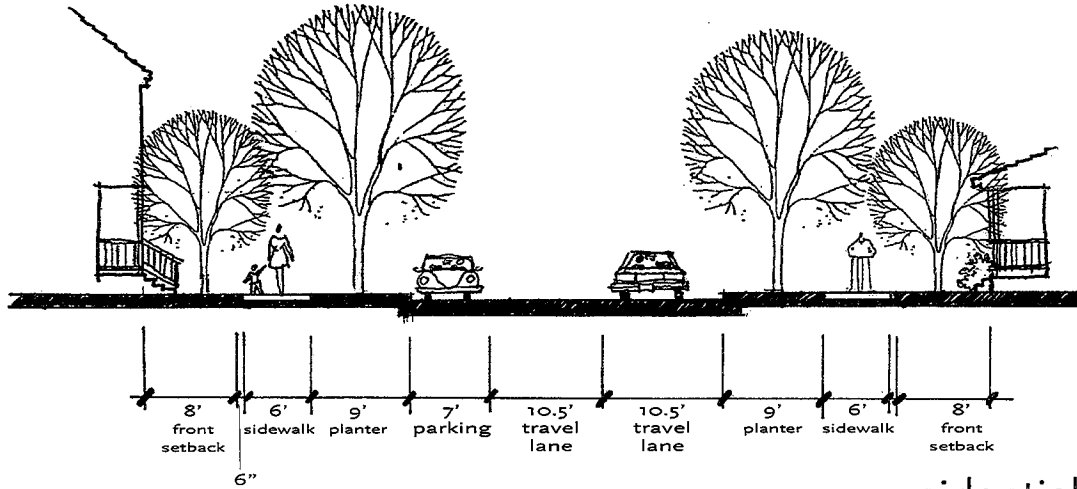
parking both
sides
32' paved
59' r.o.w.

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

fall 2004

STREET SECTIONS

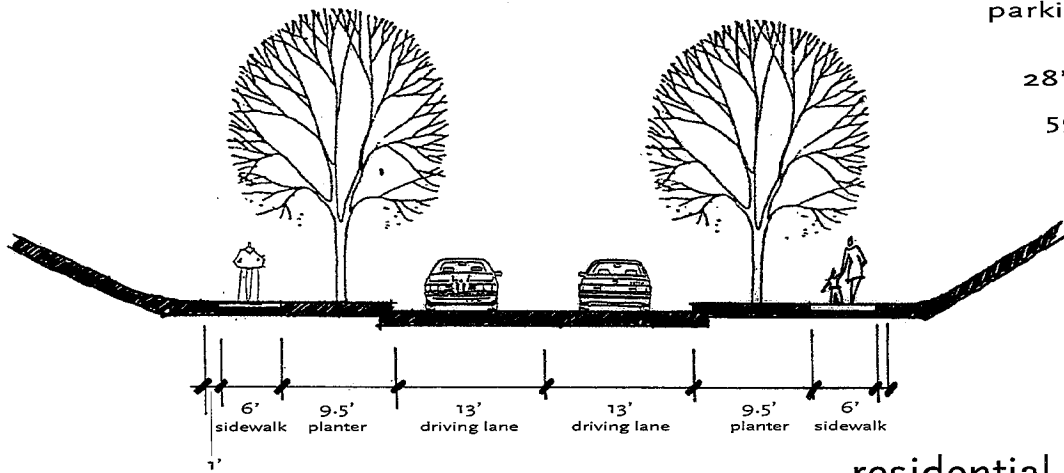


residential street

parking one side

28' paved

59' r.o.w.

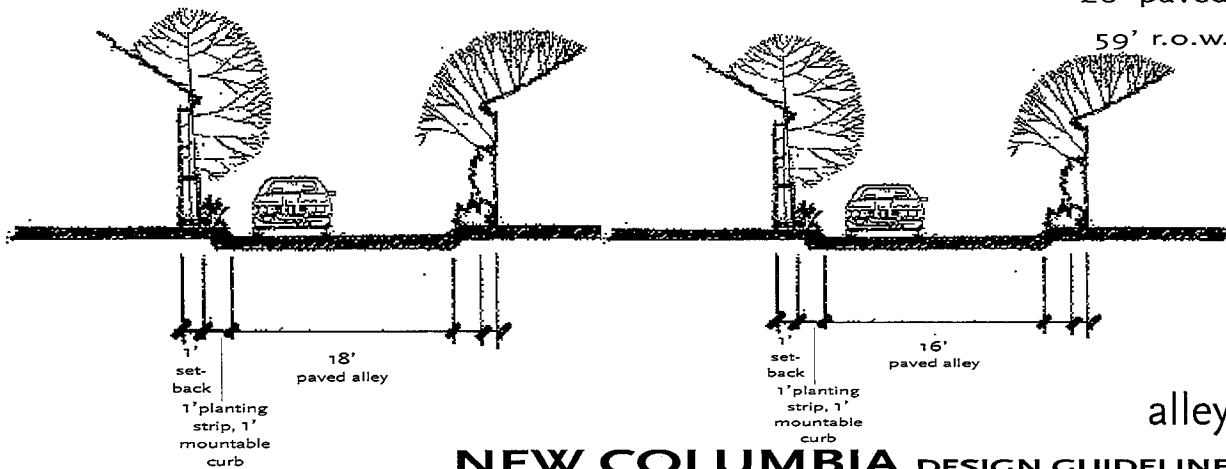


residential street

no parking

26' paved

59' r.o.w.



alleys

NEW COLUMBIA DESIGN GUIDELINES

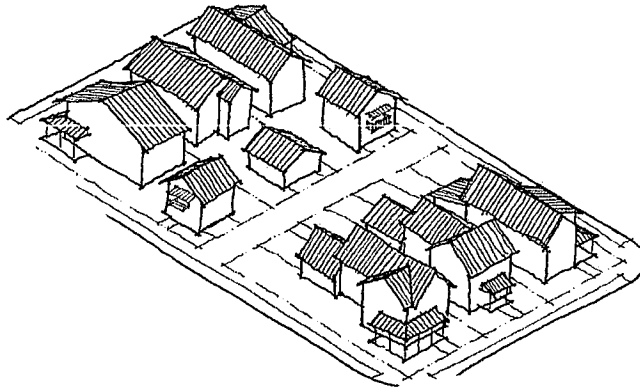
Phase II Housing

NEIGHBORHOOD DESIGN

This home illustrates a variety of forms while incorporating a front porch and fenced front yard to enhance the streetscape.



A variety of roof forms and profiles adds character and relief to the streetsfront. Corner lots typically utilize wrapping porches and other street frontage elements to engage two directions. Detached carriage houses are located adjacent to streets for direct sidewalk connections.



arrangement & layout

New Columbia has been designed to be a pedestrian friendly neighborhood. The relationship of the home to the street or the entry sequence is a very important aspect of the design. Front porches and fenced front yards are excellent transitions between the two realms. Garages are typically entered from the alley and in situations where they are entered from the street, the garage is located behind the front façade of the home. Front yard setbacks require 15' maximum and 8' minimum, except at common greens. It is encouraged that the front setback varies to avoid a monotonous streetscape. Lots that have an adjacent alley should provide personal vehicle access only from the alley. A variety of forms and materials are essential in creating a community that does not feel monotonous and allows homes to have their own individuality while provide character and relief to the streetscape.

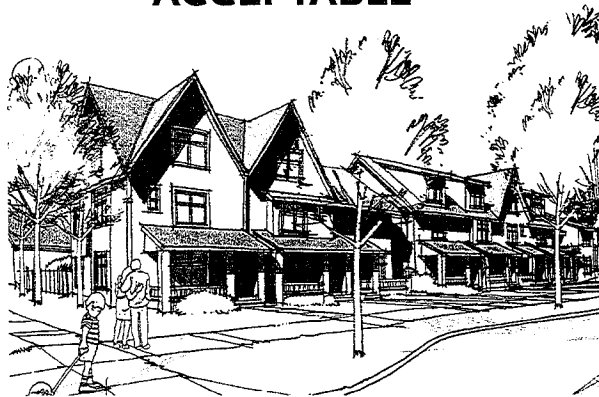
NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

NEIGHBORHOOD DESIGN



ACCEPTABLE



ACCEPTABLE



NOT ACCEPTABLE

acceptable condition

A variety of forms and materials provide individual scale and presence. Use articulated roof forms, a variety of colors, varying siding and patterns to create diversity and individuality for each home. Strong porch and stair relationships to street provide connection and sense of ownership for residents.

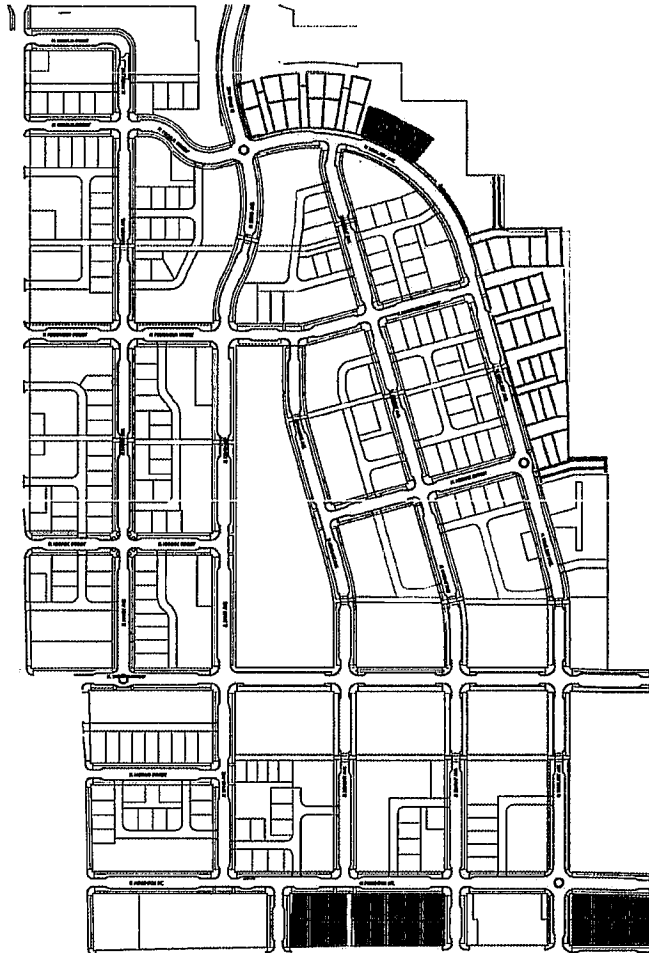
prohibited condition

Repetition of identical form with no break in material results in visual monotony and an impersonal institutionalized character.

TRADITIONAL FRONT LOADED HOMES

The traditional home lots at New Columbia are 3000-3500 square feet and are intended for homes that range from 1800-2600 square feet in area. This type of home takes access from the street. These units are intended for families as they are larger lots with large yards.

note: homebuilder responsible for on-site stormwater disposal per City of Portland standards on all front loaded lots.



typical lot
size
width-- 46' min
depth-- 66' min

building mass

- building height--40' to top of roof, max. two stories
- building coverage--60% (includes building footprint only)

setbacks

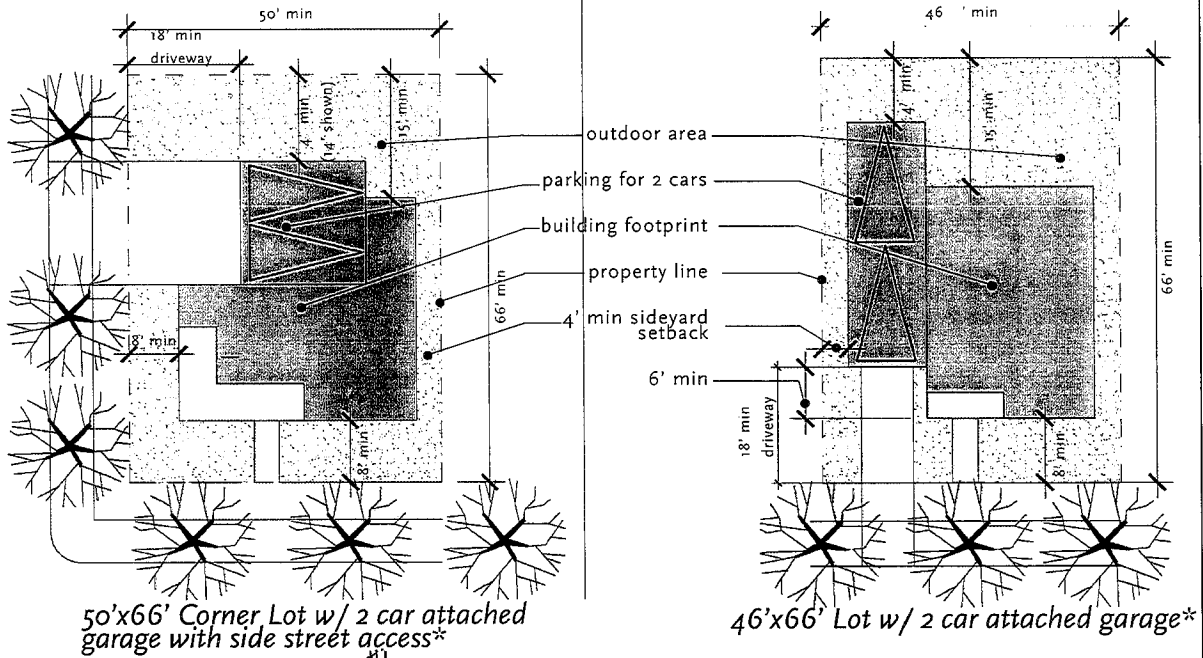
- front to r.o.w.-- 8' min, 15' max
- front to green--6' min, 12' max to building facade. 3' min to porch, stairs may extend to pl
- front to garage--18' from back of sidewalk
- sideyard
sideyard--4' min
sideyard on street--8' min
sideyard on ped. way--4'
- rear yard
to garage--4'
to house--15'

parking

- stalls
min. size 9'x18'
- homes fronting Houghton St. & Woolsey
1 stall per unit
- homes fronting Mc Coy Ct.
2 stalls per unit

NEW COLUMBIA DESIGN GUIDELINES

TRADITIONAL FRONT LOADED HOMES



*Conceptual elevations & lot configurations

- garage***
- 3 car garage not allowed
 - carports not allowed
 - tandem stalls are allowed
 - garage length shall not be more than 40% of front facade
 - side loaded garage shall not cover more than 50% of side facade
 - front loaded garages must be recessed by a min. of 6' from front of house

*optional at builder's discretion

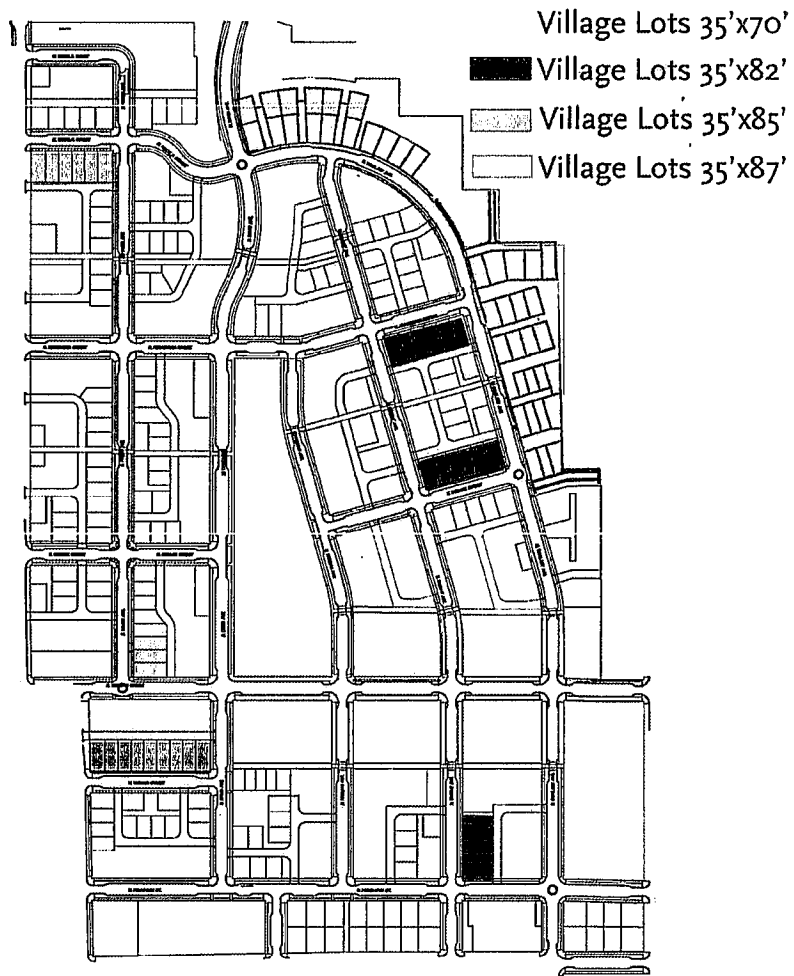
- front porch**
- must face street or green
 - min depth 6'
 - min 60 square ft.
 - 60% of homes per block are required to have a porch, others may have a stoop
 - corner lots are encouraged to use wrap porches

- open space**
- 48' square feet min. (required by land use application)
 - 20% min landscape area (required by land use application)

NEW COLUMBIA DESIGN GUIDELINES

VILLAGE HOMES 35'X70'-87'

Village lots are typically 2800-3393 square ft. These homes will range from 1600-2400 square ft. Village lots are located throughout the community and typically front the street or green. All of these lots take access from the alley and shall have a porch or stoop that addresses the street.



typical lot size
 width-- 35' min
 depth-- 70'-87' min

building mass

- **building height**--40' to top of roof, max. two stories
- **building coverage**--60% (includes building coverage only)

setbacks

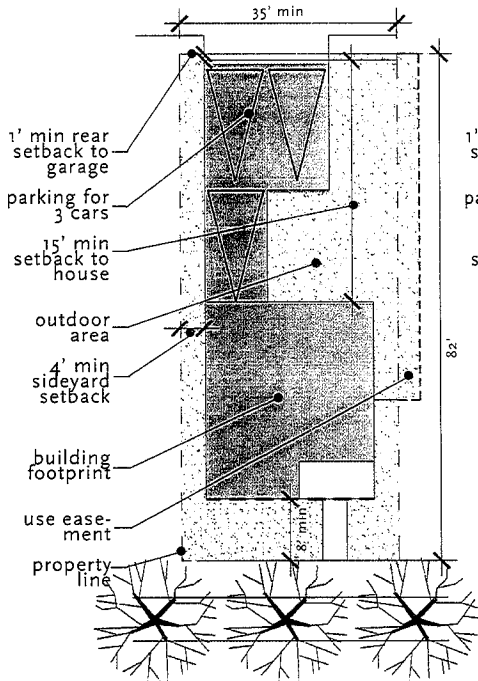
- **front to street r.o.w.**--8' min, 15' max
- **front on green**--6' min, 12' max to building facade. 3' min to porch, stairs may extend to pl
- **sideyard**
 sideyard-- 4' min
 sideyard on street-- 8' min
 sideyard on ped. way-- 4'
- **rear yard**
 to house-- 15'
 house to garage--8' if detached garage from alley
 r.o.w-- 1'

parking

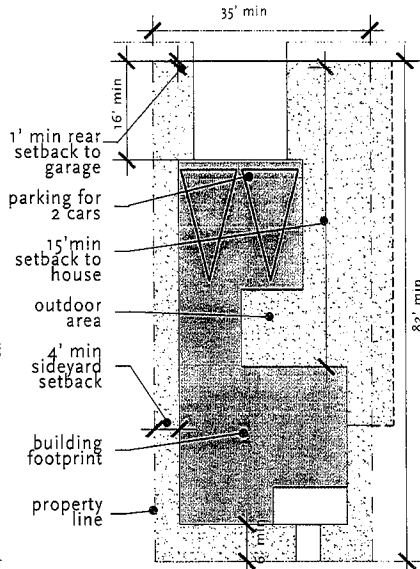
- **stalls**
 1 stall per unit
 min. size 9'x18'

NEW COLUMBIA DESIGN GUIDELINES

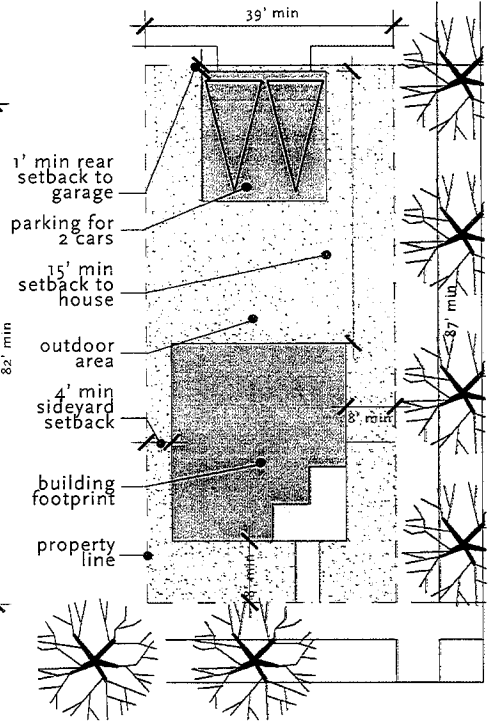
VILLAGE HOMES 35'-40'X82'-87'



35'x82' Lot*



35'x82' Lot on Common Green*



39'x87' on Corner Lot*



*Conceptual elevations & lot configurations

- garage--alley loaded***
- **carports** allowed if not visible from street
 - **3 car garages** allowed only in a tandem configuration
 - **access** all garages must take access from alley
 - **lighting** provide photo-cell light on garage facing alley

*optional at builder's discretion




- front porch**
- must face street or common green
 - depth min 6'
 - min square ft. 60'
 - corner lots are encouraged to use wrap porches
 - 60% of homes per block are required to have a front porch, others may have a stoop

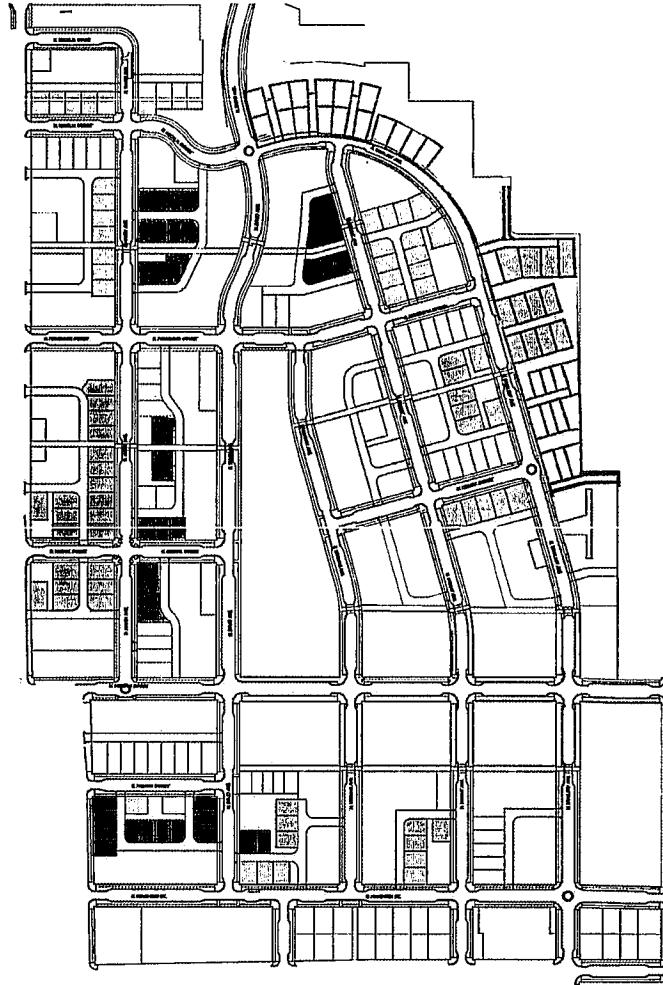
- open space**
- 48' square feet (required by land use application)
 - landscape area 20% min (land use application requirement)
 - use easements are encouraged to increase yard size

NEW COLUMBIA DESIGN GUIDELINES

COTTAGES

Cottage lots range from 2280-2800 square feet and the homes will range in size from 1200-1800 square feet. The cottage lots are located throughout Columbia Villa and either front a common green or street. All cottage lots are alley loaded.

-  Cottage 38'x60'
-  Cottage 42'x60'
-  Cottage 40'x70'



typical lot size
width-- 38-42' min
depth-- 60'-70' min

building mass

- **building height**--40' to top of roof, max. two stories
- **building coverage**--60% (includes building coverage only)

setbacks

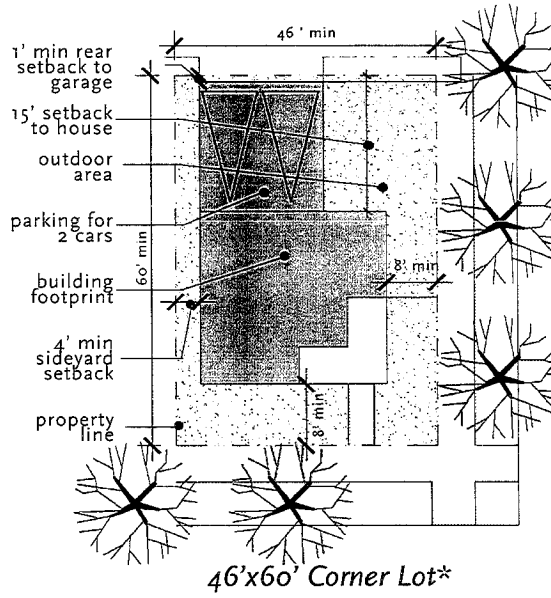
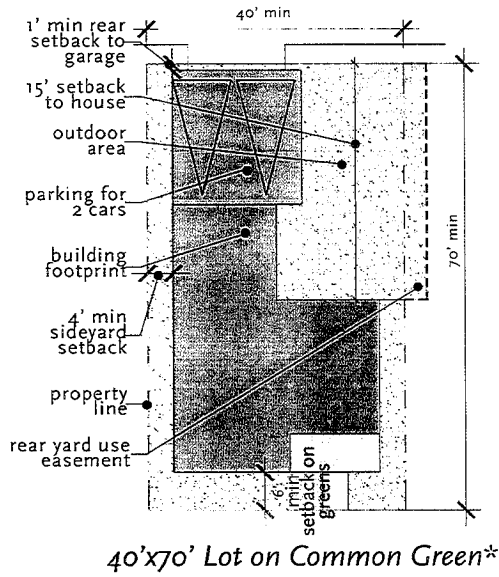
- **front to street**--8' min, 15' max
- **front to green**--6' min, 12' max to building facade. 3' min to porch, stairs may extend to pl
- **sideyard**
sideyard-- 4' min
sideyard on street-- 8' min
sideyard on pedestrian way--4'
- **rear yard**
to garage-- 1'
to house-- 15'

parking

- **stalls**
1 stall per unit
- **stalls fronting N. McCoy Court**
2 stalls per unit
- **size**
min. size 9'x18'

NEW COLUMBIA DESIGN GUIDELINES

COTTAGES



*Conceptual elevations & lot configurations

garage*

- **carports** allowed only if not visible from the street
- **3 car garage** not allowed
- **access** all garages must take access from the alley
- **light** provide photo-cell light on garage facing alley

*optional at builder's discretion

front porch

- must face street or common green
- depth 6' min
- min square ft. 60'
- corner lots per block are encouraged to use wrap porches
- 60% of homes are required to have a front porch. others may have a stoop

open space

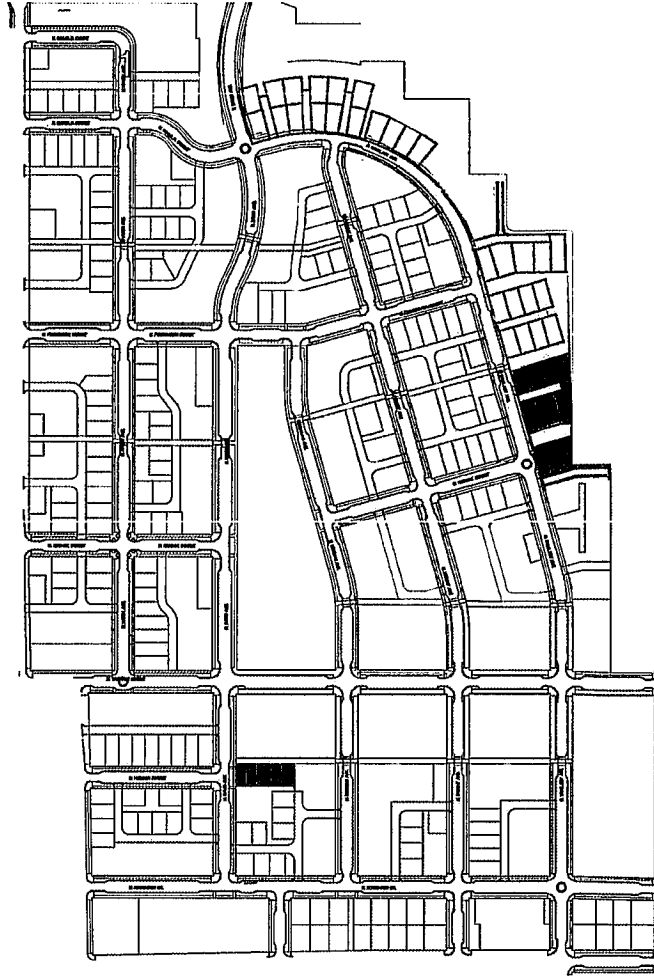
- 48' square feet (required by land use application)
- 20% min (required by land use application)
- use easements are encouraged to increase yard size

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

DUPLEX HOMES

The alley loaded duplex lots range in size from 1200-1600 square feet. The home sizes range from 1200-1600 square feet. All of these homes have access to parking from the alley. Some units have direct alley access on the lot, while others have shared parking. All of these homes front a common green.



typical lot size
width-- 28' min
single unit
depth-- 60' min

building mass

- building height--40' to top of roof, max. two stories
- building coverage--60% (includes building coverage only)
- carriage units not allowed

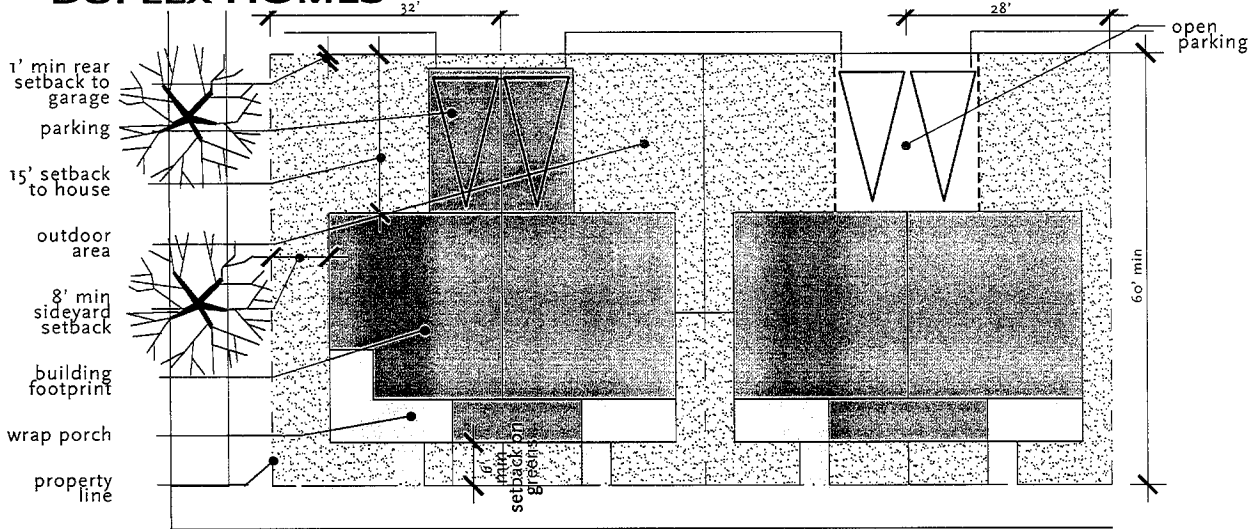
setbacks

- front
from green-- 6' min, 12' max to building facade. 3' min to porch, stairs may extend to pl
- sideyard
sideyard-- 4' min
sideyard on street-- 8' min
sideyard on pedestrian way--4'
- rear yard
to garage--1'
to house--15'

parking

- stalls
1 stall per unit min. (does not have to be on lot)
- size
min. size 9'x18'

DUPLEX HOMES



Attached garage on Corner Lot* 2 stalls for cars/no garage*



*Conceptual elevations & lot configurations

garage*

- 3 car garage not allowed
- shared garage allowed
- carports allowed only in alley if not visible from street
- light provide photo-cell light on garage facing alley

**optional at builder's discretion*

front porch

- must face street or common green
- depth 6' min
- min 60 square ft.
- 60% of homes per block are required to have a porch. others may have a stoop.
- corner lots are encouraged to use wrap porches

open space

- 48' square feet (required by land use application)
- 20% min landscape area (required by land use application)

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

fall 2004

ARCHITECTURAL
CHARACTER

general

elements

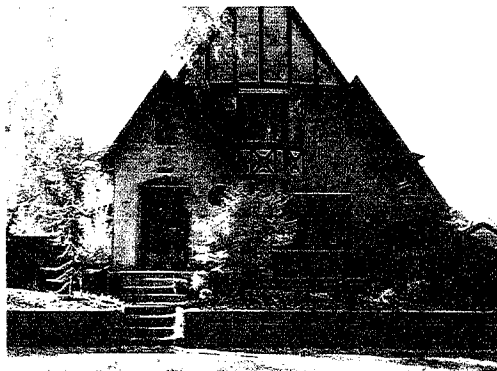
details

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

fall 2004

ARCHITECTURAL CHARACTER



The homes for sale at New Columbia will draw from the best of the architectural traditions found within Portland neighborhoods. This is not to say that faithful reproductions of homes are anticipated, but rather a vocabulary of the most time enduring patterns found in Portland's defining architecture will be encouraged. These include:

- simple building forms
- uncluttered roof lines with traditional roof pitches and overhangs
- useable and protective front porches and stoops
- formal acknowledgment of the street from the home
- variety of styles
- variety of colors

DESIGN VALUES



sense of place

The Portsmouth Neighborhood is made up of diverse architectural character. While the neighborhood is unified, it still has a variety of architectural style, massing, detailing and color. These guidelines promote diversity at New Columbia while still respecting the needs of the builders.

elevations and models

Models are defined as having significant variation in floor plans, which allow for variety in the massing of the home.

No more than two of the same model and elevation may be on the same street frontage.

The same model and elevation are not to be built next to each other.

To further differentiate the same models and elevations, different exterior colors should be used.

Each model should have at least two architectural styles and a variety of color schemes.

NEW COLUMBIA DESIGN GUIDELINES

SUSTAINABLE ARCHITECTURE

resources

A goal for New Columbia is to be a national model for sustainable design. To maintain this high level of site and building design throughout the neighborhood, construction will be encouraged to meet the threshold requirements that are detailed in Greening Portland's Affordable Housing. A copy may be downloaded from the City of Portland Office of Sustainable Development website at <http://www.sustainableportland.org/AHGuidelines.pdf> or at <http://www.sustainableportland.org/Affordable%20Housing%20Guidebook.pdf>

water & energy goals

New Columbia has made water and energy conservation a priority. Home builders are encouraged to design systems to:

- Use 50% less water than required by Oregon code
- Use 9% less energy than required by Oregon code

Builders, contractors and developers are encouraged to calculate or use computer models to identify individual conservation levels achieved.

incentives from the state

The Energy Trust of Oregon and POE's Earth Advantage Programs have incentives available to home builders who are encouraged to utilize these opportunities.

Tax Credits are available from the Oregon Office of Energy (OOE) for energy efficient products/technologies such as appliances, heating and air conditioning systems, water heaters, solar panels, and wind systems.

Homeowner and renters who purchase energy efficient appliances and equipment are eligible to receive Residential Energy Tax Credits ranging from \$30 to more than \$200. The tax credits could be used as sales incentive. Additional tax credit information and applications may be found at <http://www.energy.state.or.us/res/tax/taxcdt.htm>

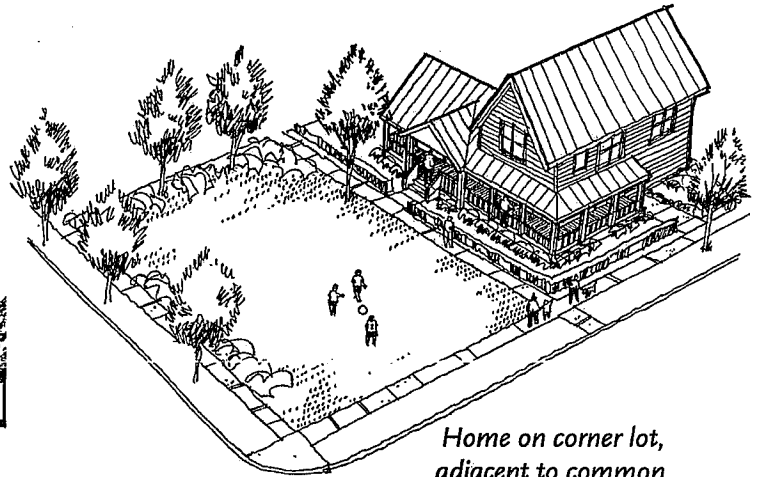
ORIENTATION



Closed Sides



Open Sides



Home on corner lot, adjacent to common green, with wrap porch addressing both the street and common green.

open & closed sides

Side yards are important in the creation of usable and private open space particularly in homes on small lots. Care should be taken to design homes with an open side and a closed side.

Window placement is an essential component to achieving this relationship. The open side is the side that is either facing a public street, green, or the side facing the usable side yard. This elevation will typically have more windows and detailing.

The closed sides have fewer and smaller windows that do not look into the private space of neighbors.

Use easements should be used where applicable to maximize the size of the private yards.

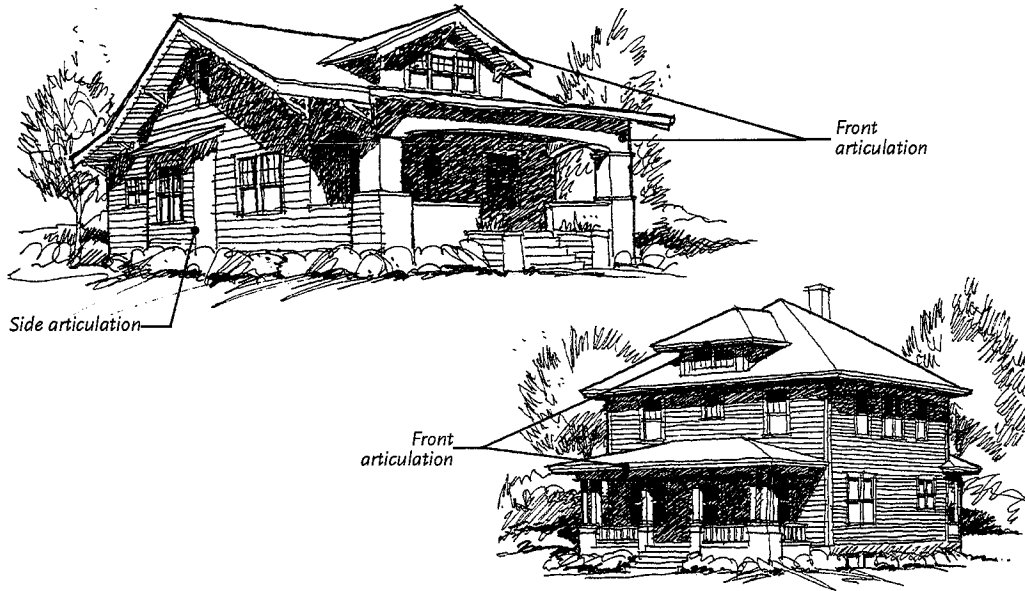
See page 72 for more information on use easements.

Where possible, orient the open side to the south or east for maximum solar exposure.

corners

Homes located on the corners of two streets or on the corner of a green or pocket park should address both. They should include building articulation and other architectural elements such as wrap porches which are strongly encouraged at New Columbia.

MASSING & ARTICULATION



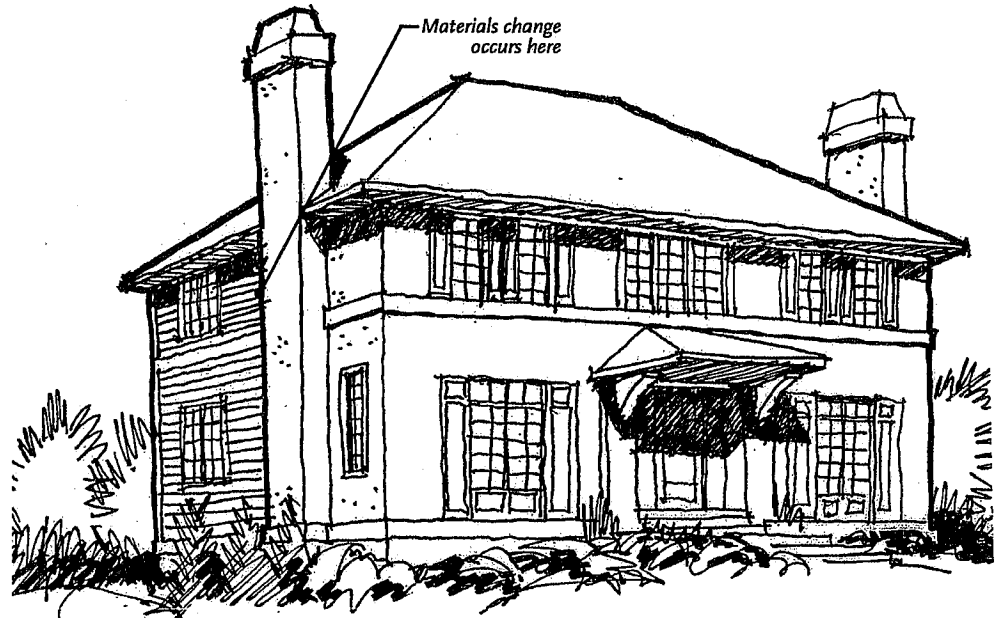
massing & articulation

At New Columbia, buildings should reflect a clear hierarchy of forms and massing with obvious expression of dominant and secondary forms. Secondary formal elements may include porches, principal dormers or other significant features as appropriate. Buildings are also encouraged to create open space at narrow streets and pedestrian ways through roof orientation and lower plate heights. Primary porch plate heights should be one-story.

An articulation is an architectural element like an attached front porch, a dormer facing the street, or a well-defined entry element. For single-family detached homes, the primary building elevation towards the street or common green needs at least one articulation or change in plane. A minimum of at least one side articulation is recommended for side elevations.

MATERIALS

Where more than one wall material is used, each must be architecturally "engaged" using the following techniques. Changes in material on a wall surface, such as from shingle to lap siding, will require a material separation, such as a trim band board. Changes in material from wood style to masonry or stone style shall wrap the corners around the wall plane no less than 24", preferably to a return wall or logical transition such as aligning with a window edge.



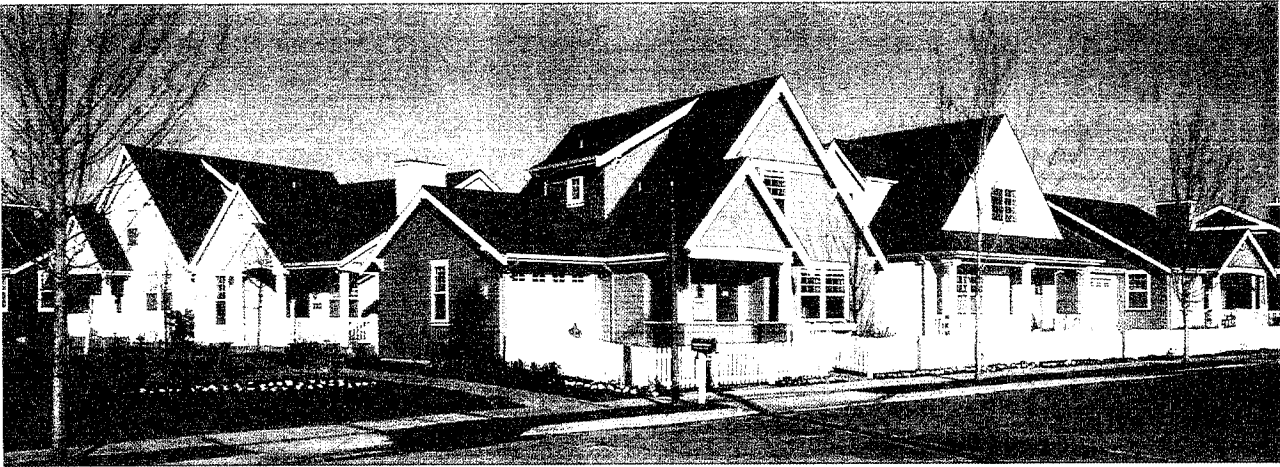
exterior walls

- Wood, cement fiber board stucco, & standard size brick masonry are acceptable materials. Vinyl or metal siding may only be used with written approval of the New Columbia Design Review Committee.
- Homes detailed with simulated stone, wood, masonry, or brick may be used.

accents & trim

- Wood, stucco, and masonry materials.
- Painted wood trim with a minimum width of 3.5 inches around windows and doors. Vinyl or metal trim around windows is not allowed at New Columbia unless approved in writing by the Architectural Review Committee.

COLORS

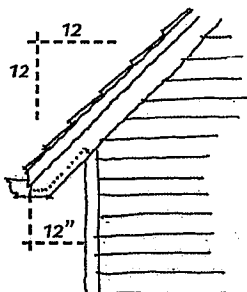


diversity & variation

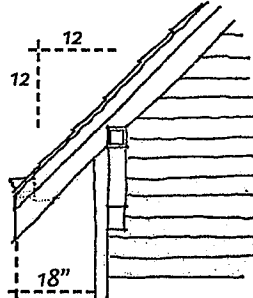
The use of a diversity of color, as compared with monotonous shades of beige and gray, is very important to the visual interest of the community and potential homebuyers. Multiple colors on buildings to reflect material changes and individuality of the residence are encouraged on single family homes and required for attached homes.

Muted deeper tones, as opposed to vibrant primary colors, should predominate, with the latter used selectively. Color palettes for all new structures coded to the home elevations shall be submitted for approval to the Architectural Review Committee.

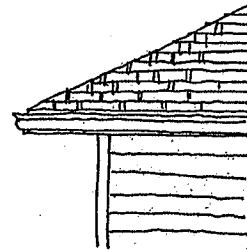
ROOF STYLES & CORNER TREATMENTS



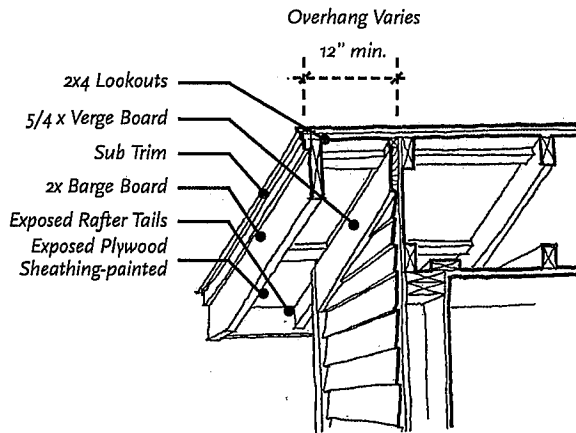
Open soffit or soffit parallel with rafter. Minimum 2x8 barge. Add secondary 1x trim to cover edge of roof sheathing.



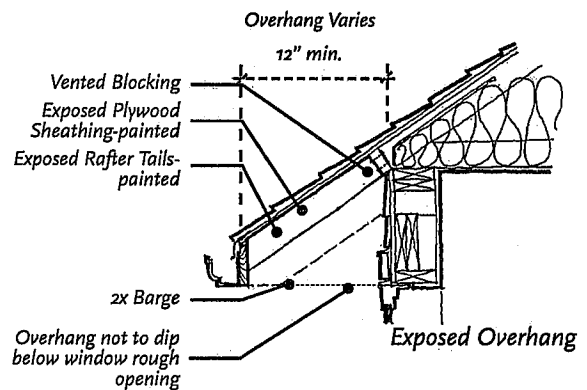
2x8 minimum barge board covers gutter. Knee brace appropriate with craftsmen style.



Hip roof with closed soffits.



Exposed Barge/Rake Overhang



roof pitches, overhangs, & materials

Primary roof pitches should generally range from 5:12 to 19:12. A minimum roof overhang of 12" (excluding gutter) is required. Roof materials shall be fire retardant, such as asphalt shingle or metal. All roofing materials shall be submitted for review to the Architectural Review Committee. A variety of roof color is encouraged within the community. Projections with eaves into the setbacks must meet Portland code, section 33.120. Roof overhangs may only be reduced with the approval from the ARC.

PORCHES & STOOPS

Covered porches and stoops provide protection from the Northwest weather when transitioning from outdoors to indoors. They provide an aesthetic transition from the main body of the home to the public realm. Useable covered porches & stoops provide an opportunity for social exchange.

A habitable space on the second level may act as the cover for the porch or stoop.



Wrapping porch brings scale of house down and engages the street and corner.



Acceptable condition. Porch area fully covered by main roofline



Acceptable condition. Porch roof extended from main roofline



Acceptable condition. Stoop entry covered by transverse gable to break scale of roof down.

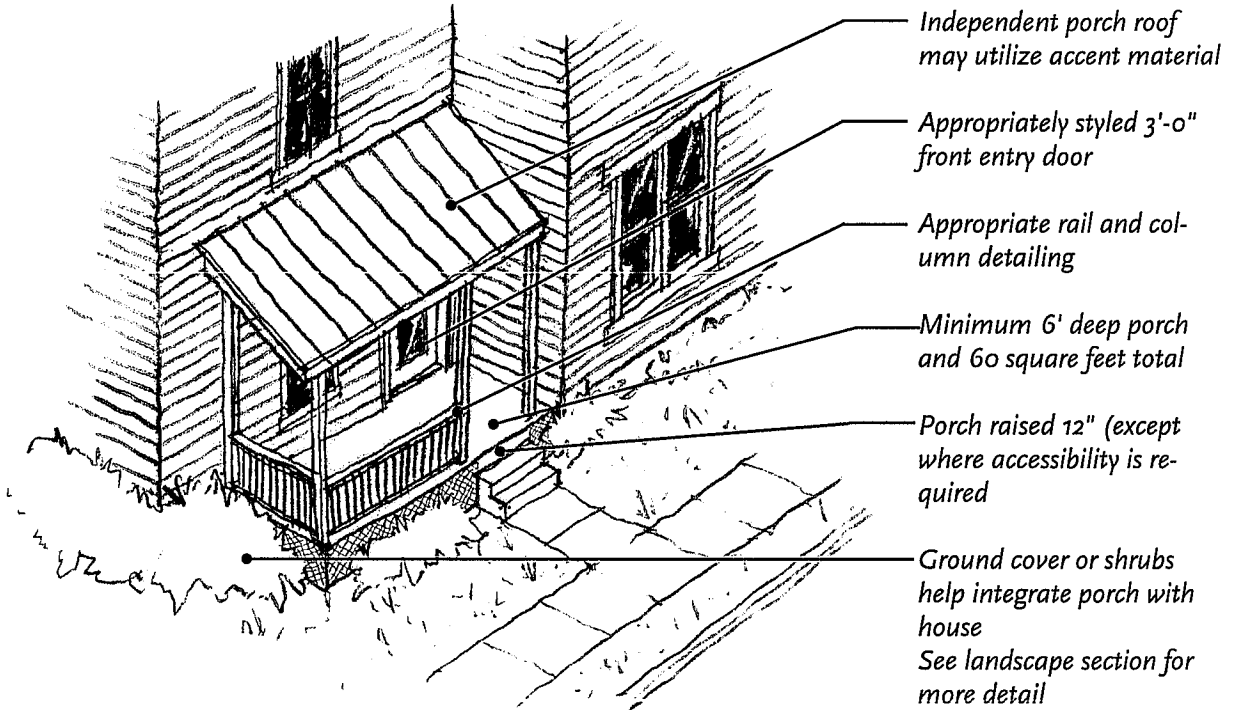
porches-a useable covered area with room to sit.

- must face street or common green
- depth 6' min
- min 60 square ft.
- 60% of homes are required to have a porch. others may have a stoop.
- corner lots are encouraged to use wrap porches
- min. elevation from sidewalk 12" except where accessibility is a priority*

stoops-a small covered platform leading to the door of a residence.

- must face street or common green
- 4' depth x 4' width min.
- min 16 square ft.
- 60% of homes are required to have a porch. others may have a stoop.
- corner lots are encouraged to use wrap porches
- min. elevation from sidewalk 12" except where accessibility is a priority*

*If a slight grade occurs across the site, an accessible route may be provided to the end of the porch from the upslope driveway while still achieving an elevated effect to the sidewalk.



potential porch entry

Connected porch roof utilizes same roofing system

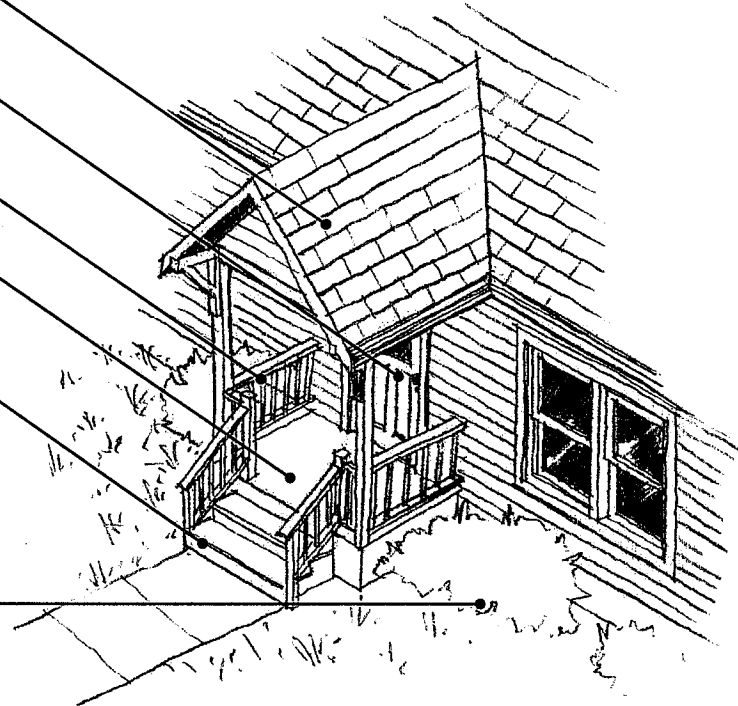
Appropriately styled 3'-0" front entry door

Appropriate rail and column detailing

Minimum 4'x4' stoop dimensions

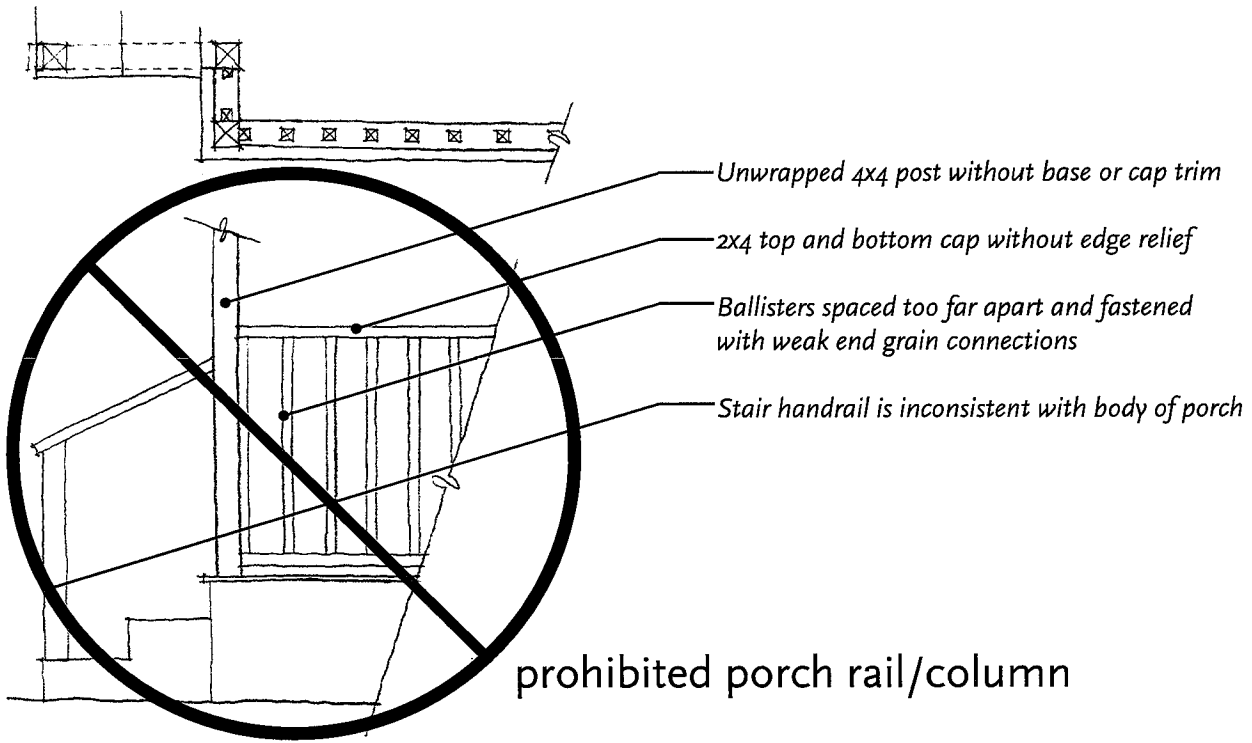
Porch raised 12" (except where accessibility is required)

Ground cover and shrubs help integrate porch with house and provide a buffer to street

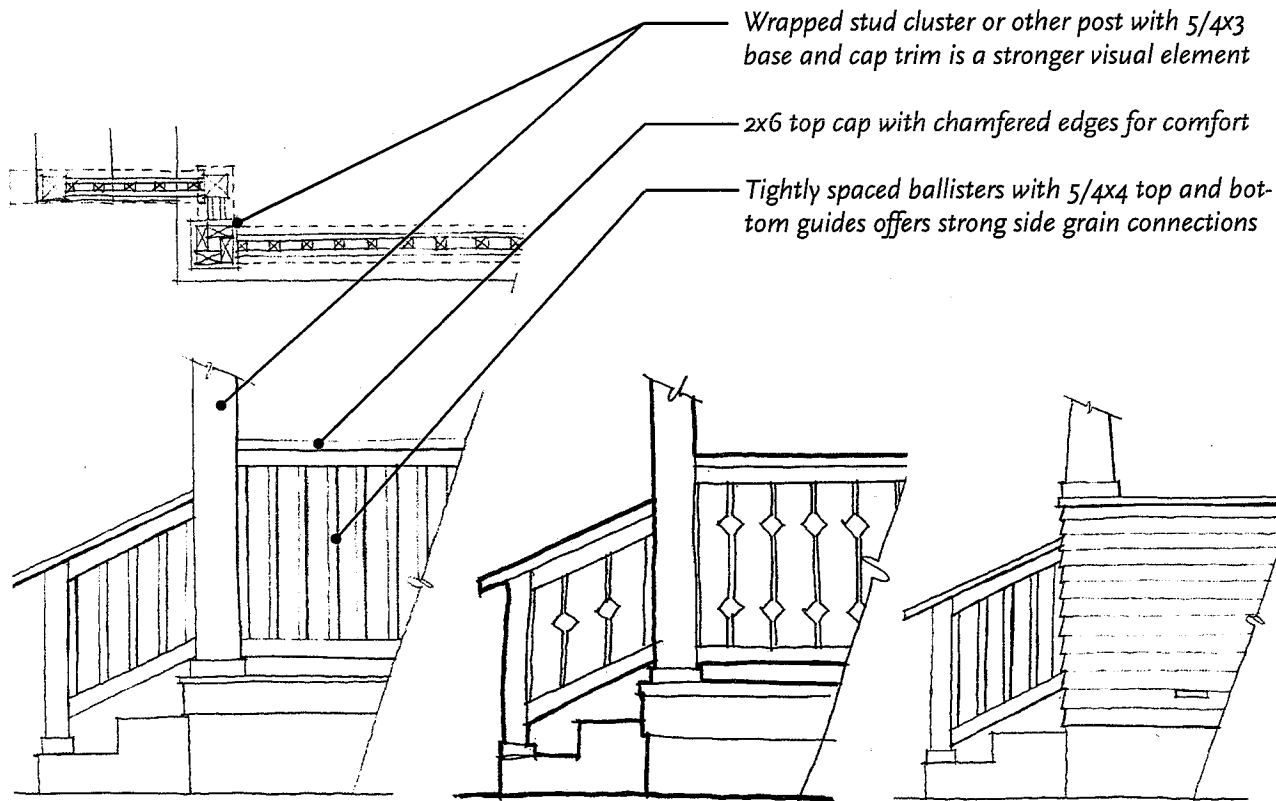


potential entry stoop

NEW COLUMBIA DESIGN GUIDELINES



prohibited porch rail/column



potential porch rail/column detailing

Acceptable 'dog bones' rail. Cut outs from 5/4x6 close spaced pickets

Acceptable half-wall/column detailing

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

BALCONIES & DECKS



Integrated front balcony



Juliette balcony

balconies

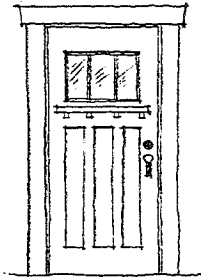
Balconies and porches located along public frontages such as roads, parks and open spaces, are encouraged. Balconies should be used to break up large wall masses, to provide security with “eyes on the street”, and provide human scale to the buildings. Smaller ‘Juliette’ type balconies are also acceptable.

decks

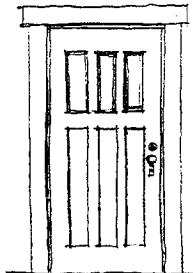
In the private yard area, decks provide useable outdoor space to a home. Deck configurations must be integral to the house design, and be located with respect to the privacy of adjacent homes and private property.

NEW COLUMBIA DESIGN GUIDELINES

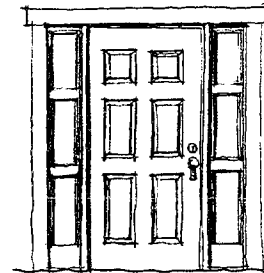
DOORS



Paneled wood door with lites at eye level (in door or in side-light condition)

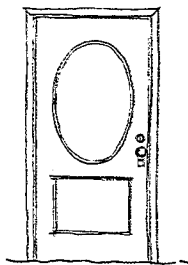


All exterior trim butt-jointed Substantial head and jamb trim typ. (5/4x4 or 6)

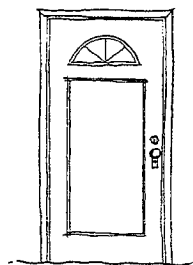


Side-light condition acceptable with solid panel door

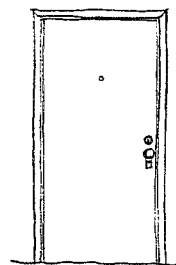
ACCEPTABLE



Prohibited panel/window geometry



Prohibited panel/window geometry



Prohibited Solid Panel Door with peephole. Metal or solid panel door with no lites at eye level also not acceptable for entry doors

NOT ACCEPTABLE

door design & materials

Doors and windows are the “eyes” of a home. They are integral to the character of the homes, and should be of a proportion and design that is in keeping with Portland traditional neighborhoods.

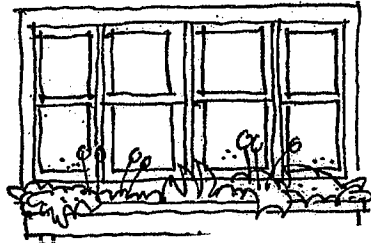
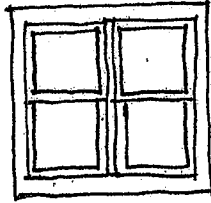
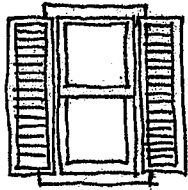
Front entrance doors shall be made of wood preferably, but fiberglass or metal are permitted if they mimic a traditional multi- paneled wood door. No imitation stained glass or art glass is permitted on new construction.

Sliding glass doors are not permitted along frontage elevation. French doors are permitted on side elevations.

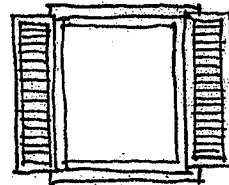
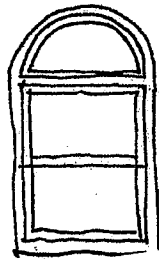
Double front doors are not permitted.

WINDOWS

Elements such as expressed sills, transoms and planter boxes add character and interest to window details. Planter boxes should extend the entire width of the window frame.



ACCEPTABLE



NOT ACCEPTABLE

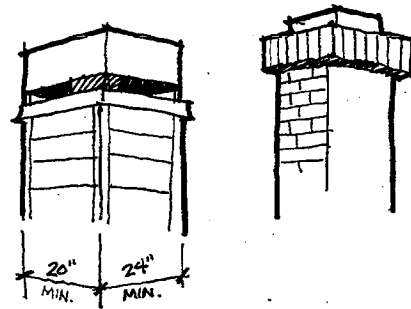
windows

Typical windows should be primarily double hung and the proportion of individual windows should be vertical in orientation, rather than horizontal. Single hung windows are acceptable. That is, a window with 20" width will have a minimum 32" height. Windows may be grouped to provide a horizontal proportion, but no window in the group may be proportioned less than 1:1 horizontal to vertical. Transom and accent windows are exempt from this proportion. Half round and arched windows are not permitted. Divided lites shall be used only where appropriate to the style of the house. Shutters shall be used only when appropriate to the architectural style of the house, and shall be proportionate to the window opening. Each shutter width should be exactly one half of the window opening.

NEW COLUMBIA DESIGN GUIDELINES

chimneys

Chimney form and shape should reflect the proportions of masonry tradition. Skinny long chimneys out of concert with the house proportions or not naturally anchored into the roof forms and walls are unacceptable. Overly stylistic chimneys are discouraged. Chimney shape and profile should appropriately reflect the stylistic direction of the rest of the house. Wood framed chimney enclosures are permitted, however, their metal termination caps should not be left exposed; shroud these tops in a metal chimney surround.



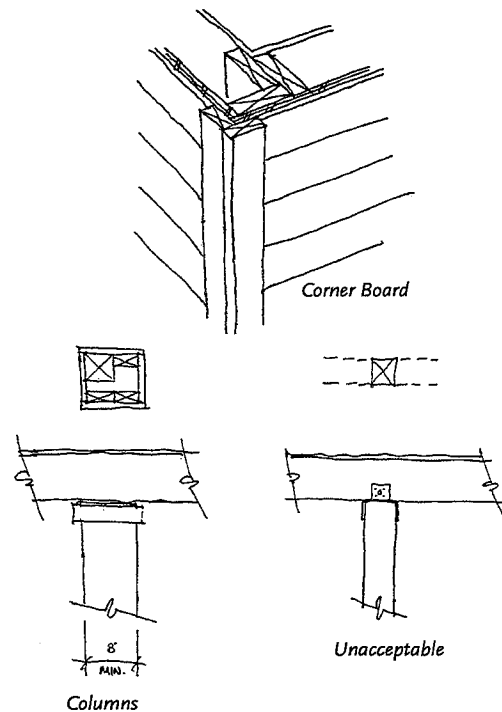
Acceptable

columns, trim & corner boards

Clad columns and porch headers with finish trim. Do not use exposed 4x4 or 6x6 posts with exposed connectors.

Window trim: surround windows with min. 3-1/2" wide trim made of non textured (smooth) wood or simulated siding. 1" min deep raised relief stucco, in lieu of wood trim may be used around the window.

Use metal corner clips or cornerboards where siding is used (2-1/2" min. width cornerboards). Paint corner boards to match the adjacent siding.



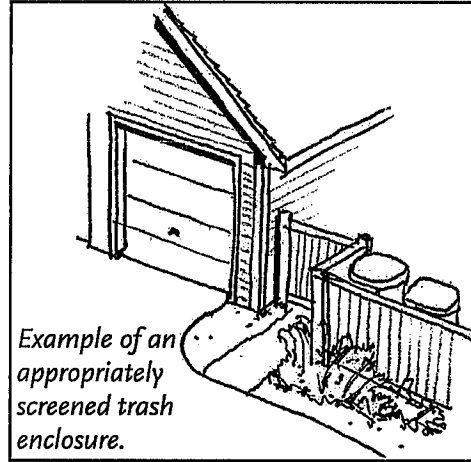
Corner Board

Unacceptable

Columns

trash & recycle containers

Containers shall be kept within garages or screened enclosure. They may not be stored within a front yard. Trash and recycle enclosures shall be located to minimize odor to habitable areas, as well as be low visibility to the public realm.



mail & newspaper boxes

A standard design for mail and newspaper boxes will be prepared. The design may be modified to fit the needs of a particular neighborhood or context with review by the New Columbia Architectural Review Committee. Mailbox locations must meet applicable approval from the U.S. Postal Service.

gutters & downspouts

Gutters shall be painted or of an integral color to closely match the trim color. Downspouts and cornerboards shall be painted to match the color of the adjacent wall surface of the home. Drainage must not adversely effect adjacent property.

play equipment

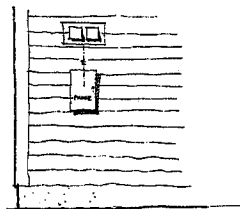
Play structures such as constructed forts, swing sets and play structures shall not be located between the property line and front elevation of the homes unless the equipment is located within an approved fenced area. Care should be taken in the location of play structures to understand and mitigate the potential impact on neighbors.

house numbers

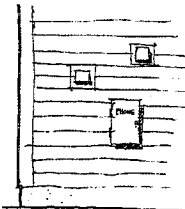
House numbers should be located near the front door for homes with front doors facing the street or green. House number locations should be shown on submitted elevation drawings for the New Columbia Architectural Review Committee. House numbers should be sized proportionately to the building elevation.

sheet metal, flashing & vents

All flashing, sheet metal, and pipes should be painted to match adjacent building material. Plumbing vent stacks at the roofs should be clustered to minimize rooftop clutter and, where feasible, be located on the roof slope facing away from the public front of the house.



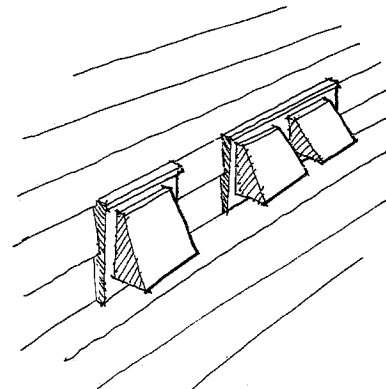
Ganged-Acceptable



*Sporadically spaced-
Unacceptable*

associated structures

Greenhouses, sheds, and other associated structures shall not exceed 12' in height or more than 150 sf in size. They shall be no closer than 4' from the side property line and may be 4' from the rear property line. Overhangs and roof drainage may not encroach over property lines. No more than one Accessory Structure is permitted per lot.



Ganged Vents-Acceptable

hot tubs & mechanical equipment

Hot tubs & pools should typically be in the back yards. Other locations must be approved by the New Columbia Architectural Review Committee. Pools and spas should be designed to minimize sight and sound impact to adjoining property. Pool heaters and pumps must be screened from view and sound insulated. Pool equipment must comply with codes regarding fencing.

clothesline

All clotheslines should be located in rear yards.

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

**L A N D S C A P E
E L E M E N T S**

importance of landscape

community open space

lot requirements

fence requirements

planting guidelines

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

fall 2004



**HAP
Design & Installation**

- central park
- pocket parks
- common greens surrounded by rental housing
- pedestrian ways
- landscape strip in alley between fence and alley pavement
- planting strips along roads adjacent to rental lots including street trees and ground cover

**HAP Design
Builder Installation**

- common greens surrounded by for sale lots (see block diagrams)
- landscaping, irrigation, and walkways for common greens surrounded by for sale lots
- planting strips along roads adjacent to for sale lots including street trees and ground cover

**Builder
Design & Installation**

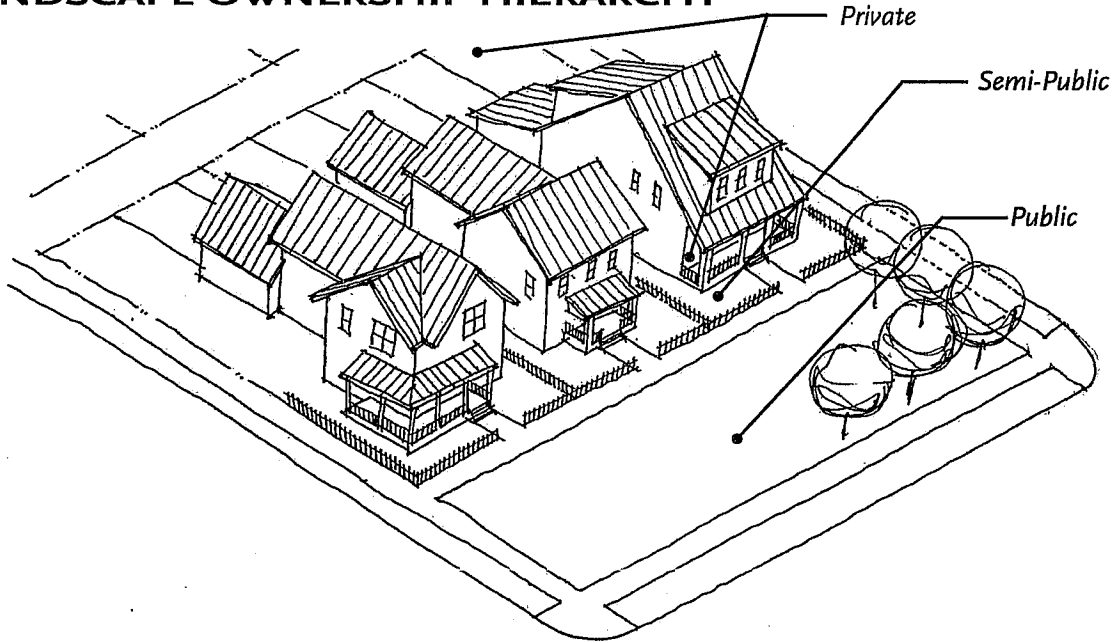
- lot landscaping: front, sides, and back yards
- front yard irrigation (to connect to Owner's Association common system)

importance of landscape

The landscape is an important aspect of the creation of space and scale at New Columbia. In conjunction with architecture, landscape design enables builders to create a transition between homes and the street while mitigating the impact of a high density community.

The first section of this chapter will cover hierarchy of open space at New Columbia including the central park, pocket parks, common greens, and pedestrian ways which will be the responsibility of the Housing Authority of Portland. The second section will cover areas that generally fall under the responsibility of homebuilders or private owners. Builders must meet the T-1 & L-1 landscape requirements established by the City of Portland and the tree preservation plan in the appendix.

LANDSCAPE OWNERSHIP HIERARCHY



public realm

The public realm is the area that is included in the right-of-way, pedestrian ways and parks. This area is usually fronted by residential units and contains street trees, lawn and the public sidewalk.

semi-public realm

The semi-public realm is the front yards of homes. This is the zone from the back of sidewalk to the front porch and usually includes planting beds, lawns, ornamental trees and low decorative fences or hedges.

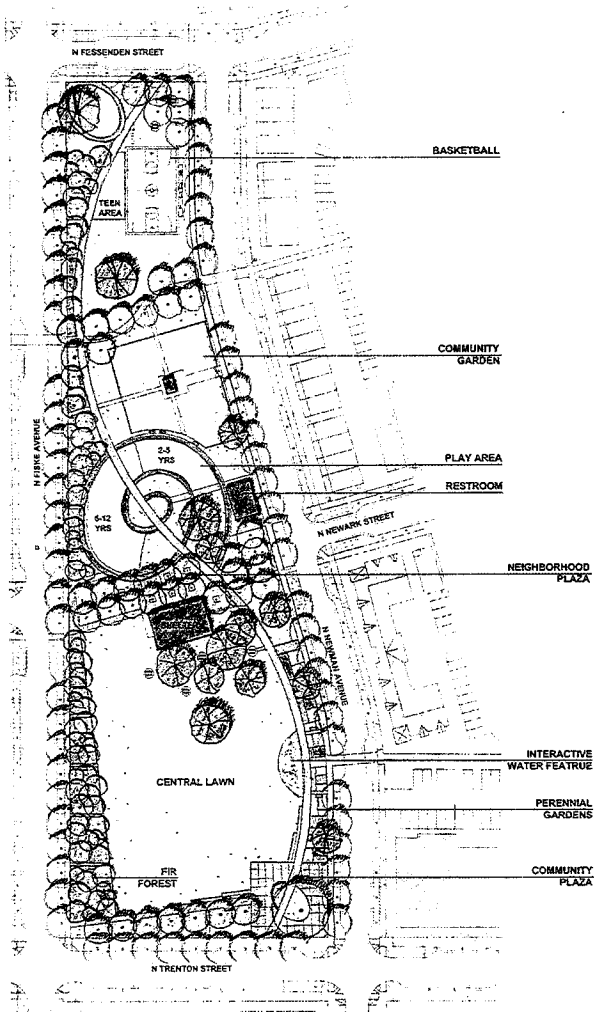
private realm

The private landscape area is the backyard and the porch area. The backyard may include trees, planting beds, and a low privacy fence. The front porch is also private space and may include, planter boxes, pots and outdoor furnishings.

NEW COLUMBIA DESIGN GUIDELINES

Phase II Housing

CENTRAL PARK



New Columbia Central Park



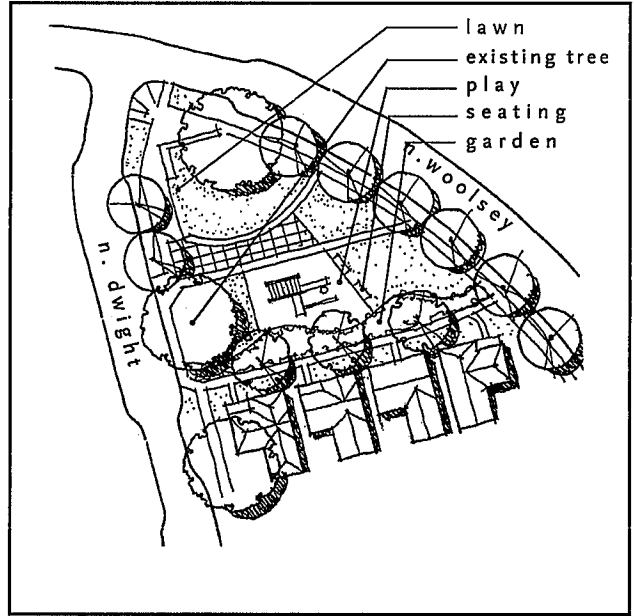
Example of Community Park

The Central Park is the “heart of the community” for New Columbia and will function as a gathering place for a multitude of community activities such as a farmer’s market, fourth of July celebrations, concerts, and other events.

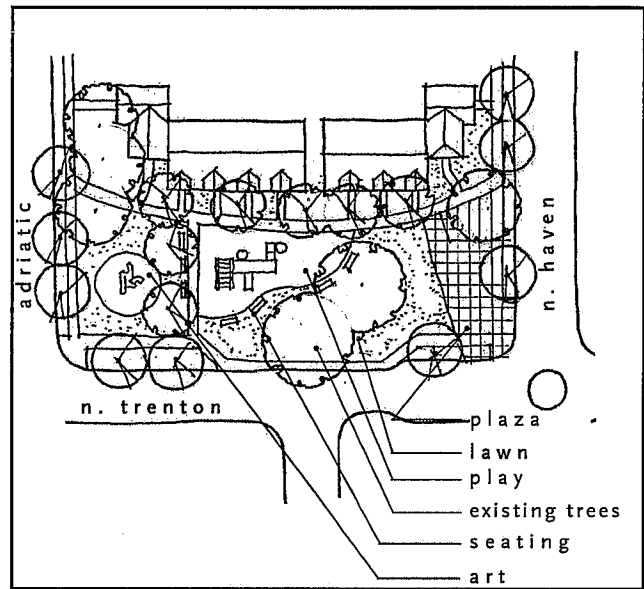
This park will be 3.8 acres and contain a shelter and an open lawn area which will be a place for active and passive activities. Active areas in the park include a half and full basketball court, a play area for 6-12 year olds and a tot lot. There could potentially be a community garden for residents.

This park will be designed by Murase & Associates and the Housing Authority of Portland. Ownership will transfer to the City of Portland Parks Department who will be responsible for ongoing maintenance.

POCKET PARKS

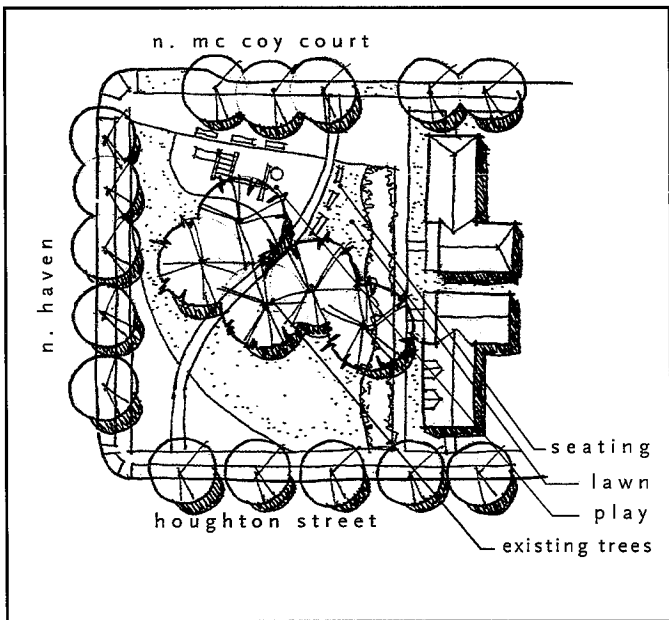


woolsey park

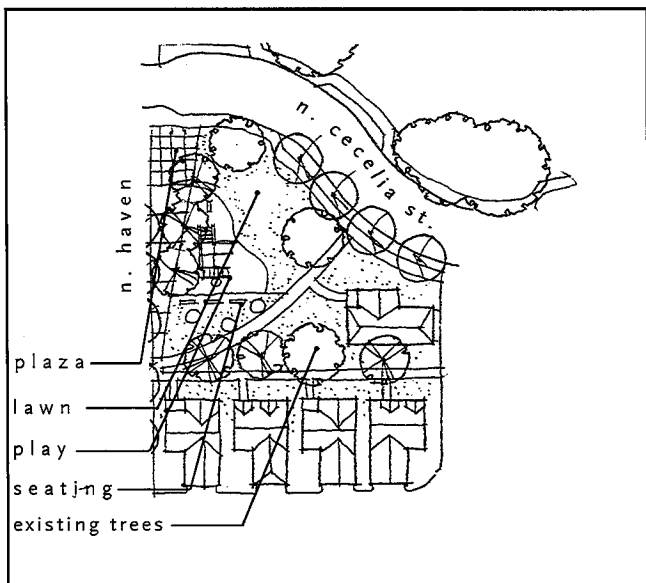


trenton park

POCKET PARKS



houghton park



cecelia park

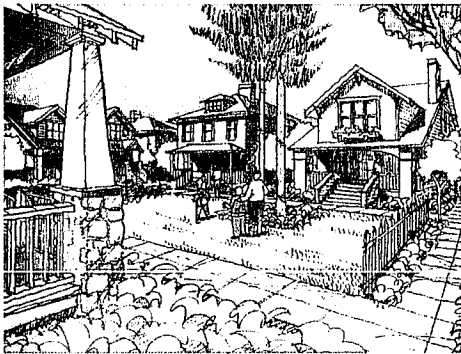
There are four pocket parks scattered around New Columbia. These parks are located to provide each area of New Columbia with a smaller neighborhood park where children may play in close proximity to their homes. They will be approximately 1/3-1/2 of an acre. These parks will contain play areas and picnic tables. They typically contain mature trees which will help provide shade.

These parks will be designed by Murase & Associates and developed by the Housing Authority of Portland. Pocket parks will be owned and maintained by the Owners Association.

PUBLIC COMMON GREENS & PEDESTRIAN WAYS

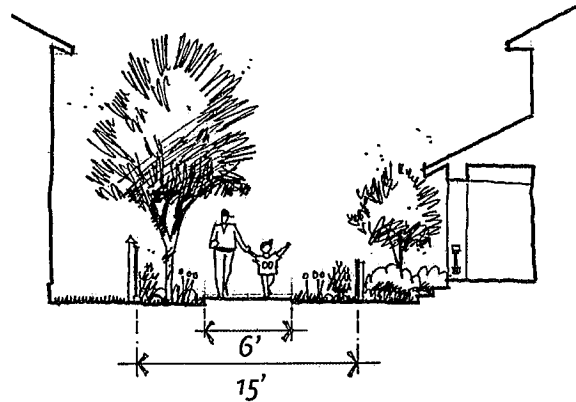


Common Green



Common Green

Sidewalks should be placed along the edge of the green to allow a larger grass areas and to allow easy access to lots that front on the green.



Pedestrian Way

common greens

Common greens are located throughout New Columbia. Homes adjacent to common greens shall be oriented with their front doors facing these open spaces. Common greens create areas for small children to play where their parents can keep an eye on them. Common greens also function as community building places where neighbors can have a block party or gather together. Common greens are visible and accessible from the streets.

Common greens will be designed by the Housing Authority of Portland and installed by the home builders or HAP depending on location. See Block Studies for specifics on each green. The home builder may adjust the design of the greens to meet their market intent. Ownership and Maintenance will be the responsibility of the Owner's Association.

pedestrian ways

Pedestrian ways are 15' wide public rights of way that run through many of the blocks. They allow pedestrians to have mid-block connections. These pedestrian ways connect to the central park, University Park and the proposed school site. They will have a 6' path that can be used for walking or biking. In areas where these paths cross the street, parking will be eliminated and curb extensions will be provided to ensure a safe crossing.

Pedestrian ways will be developed by the Housing Authority of Portland and maintained by the Owner's Association.

NEW COLUMBIA DESIGN GUIDELINES

LOT LANDSCAPE REQUIREMENTS -CITY OF PORTLAND

The following is a brief synopsis of the lot landscape requirements for the City of Portland. For further detail see the Portland Planning & Zoning Code Chapter 33.248. These requirements apply to all lots at New Columbia. The following pages outline New Columbia requirements that are in addition to the city requirements.



city of portland code lot requirements

t r e e s

required trees per T-1 standards

- for lots less than 3000 sq. ft.: at least 3" of tree diameter must be planted per lot.
- for lots more than 3000 sq. ft.: at least 2" of tree diameter per 1000 sq. feet per lot where space permits, at least 1 tree in front yard is encouraged

s h r u b s

required shrubs per L-1 standards

- either 2 high shrubs or 3 low shrubs per 400 sq. ft.
- groundcovers or perennials must fully cover the remainder of the landscape area

*see Portland Planning & Zoning Code Chapter 33.248 for details. T-1 standards apply to trees. L-1 standards apply to shrubs & groundcovers.

NEW COLUMBIA DESIGN GUIDELINES

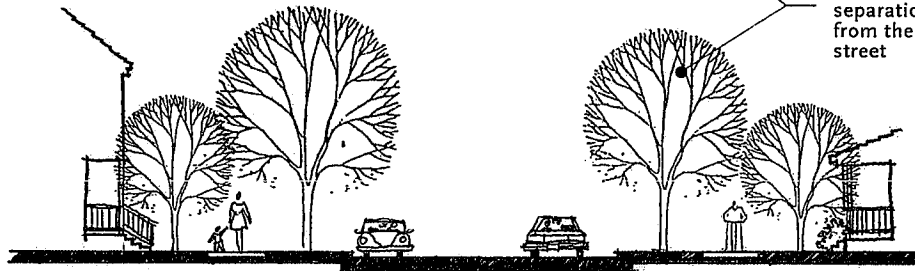
Phase II Housing

LOT LANDSCAPE REQUIREMENTS-NEW COLUMBIA

The following pages outline the requirements set forth by New Columbia and work in tandem with the City of Portland requirements. Should the builder wish to deviate from these requirements, or in situations where space prohibits the required trees, the changes or variances should be submitted to the ARC for approval.



street trees provide shade and separation from the street



new columbia lot requirements

street trees

- Street trees are required on all public streets.
- Street trees must be 3.5" calliper and will be one of the species listed on this page*
- Builders must provide trees spaced 25' on center in planting strip while accomodating utility clearances and irrigation
- Street trees will be installed by the home builders where for sale lots abut streets

Acer saccharum 'Legacy'-Legacy Sugar Maple
 Celtus occidentalis-Hackberry
 Cercidiphyllum japonicum-Katsura Tree
 Fraxinus americana- 'Junginger'/Autumn Purple Ash
 Fraxinus pennsylvanica 'Patmore'/Patmore Ash
 Gleditsia tricanthos 'Shademaster'/Shademaster Honeylocust
 Nyssa sylvatica/Black Tupelo
 Ostrya Virginiana/American Hophornbeam
 Prunus sargentii 'Columnarus'/Columnar Sargent Cherry
 Quercus shumardii/Shumard Oak
 Tilia cordata 'Glenleven'/Glenleven Linden

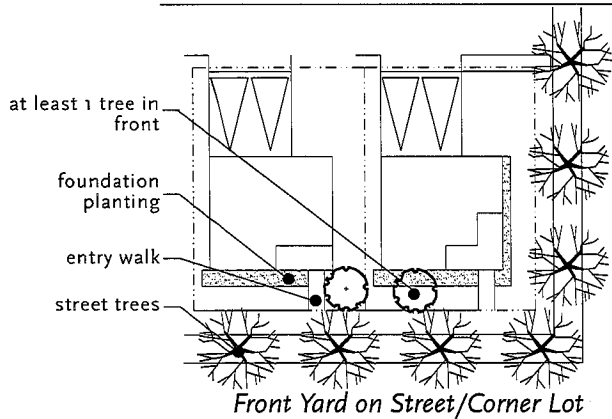
* Tree species location per the Public Street Improvement Plan

NEW COLUMBIA DESIGN GUIDELINES

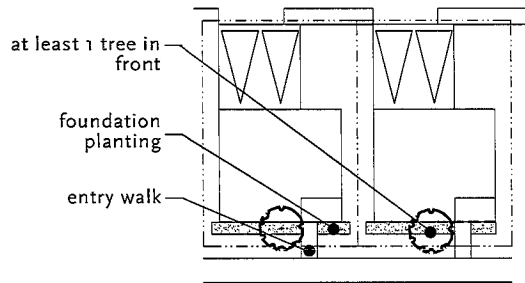
Phase II Housing

fall 2004

LOT LANDSCAPE REQUIREMENTS-NEW COLUMBIA



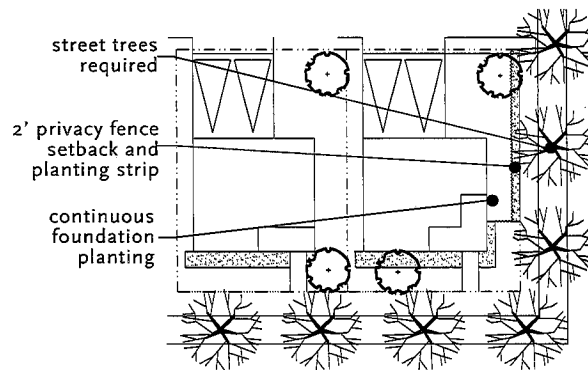
Front Yard on Street/Corner Lot



Front Yard on Green



Street Trees on Corner Lot



Side Yard on Corner Lot

new columbia lot requirements

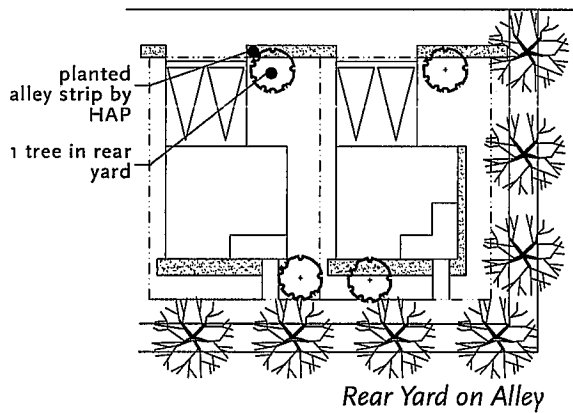
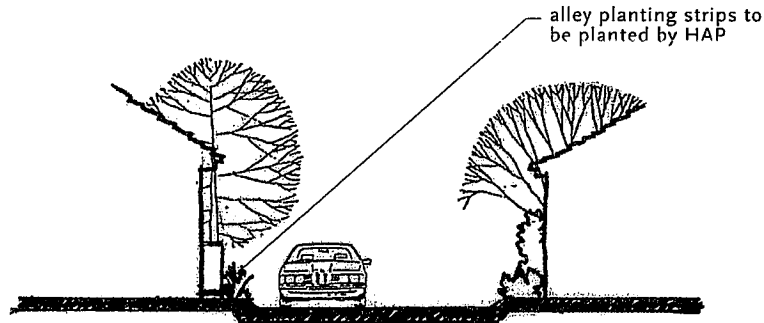
front yard on green & street

- **entry walk**
3' min to 4' max width
- **1 tree in front yard**
- **lawn**
60% max coverage
- **shrubs**
continuous shrub screen on exposed foundations is required
- **groundcovers & perennials**
30% coverage minimum

side yard along street

- street trees are required on corner lots on both streets. builders must provide street trees 25' on center.
- the side yard that is visible from the street should contain foundation plantings in a continuous shrub bed at a 5' min. length with a shrub every 5' min.
- 2' min setback privacy fence from PL to allow for planting strip on public side

LOT LANDSCAPE REQUIREMENTS-NEW COLUMBIA



Planting Strips in Alley

**new columbia
lot requirements**

r e a r y a r d

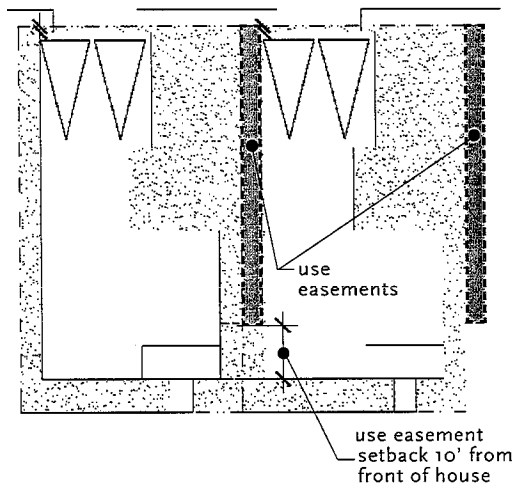
- tree requirements
1 Canopy or ornamental tree required
5' min from the property line

**alley landscaping &
utility requirements**

- garage aprons and driveways should be concrete.
- transformers and other utilities should be landscaped to minimize appearance with a 3' high continuous vegetated screen which is 95% opaque year-round. For larger areas, one tree is required per 30 lineal feet of landscaped area, with groundcover covering the remainder of the area, except in areas where workers will need access. See appendix for location details.

LOT LANDSCAPE EASEMENTS

A use easement gives the home owner the right to use the adjacent property which allows for maximum usable yard space. It is important when laying out each home to maximize the outdoor space. Care should be given to the design of the homes when using use easements in the proximity of windows in order to allow the maximum privacy for these outdoor spaces.

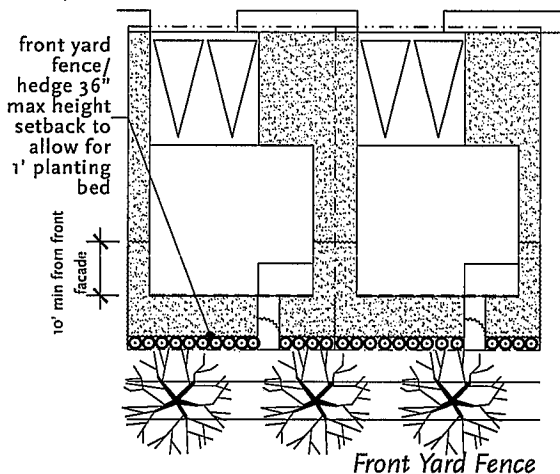


side yard easements

Side yard use easements are intended for alley lots. The easements should begin at least 10' from the front façade of the home and continue to the rear property line. The use easement is usually given to the adjacent neighbor on the non-yard side of the owner's garage in order to maximize the neighbor's outdoor space.

FENCING FOR PRIVATE LOTS

Fences and hedges help to further define private yard areas that are around a residential structure. Each design should be coordinated with the materials and colors, quality scale and detail of the home. The design of the fence and its location must be approved by the Architectural Review Committee.



Front Yard Fence



Front Yard Fence



Screening Hedge Row

front yard fencing

Front yard fences are decorative and help define the semi-private area of a home. Picket fences should be 20% minimum transparent.

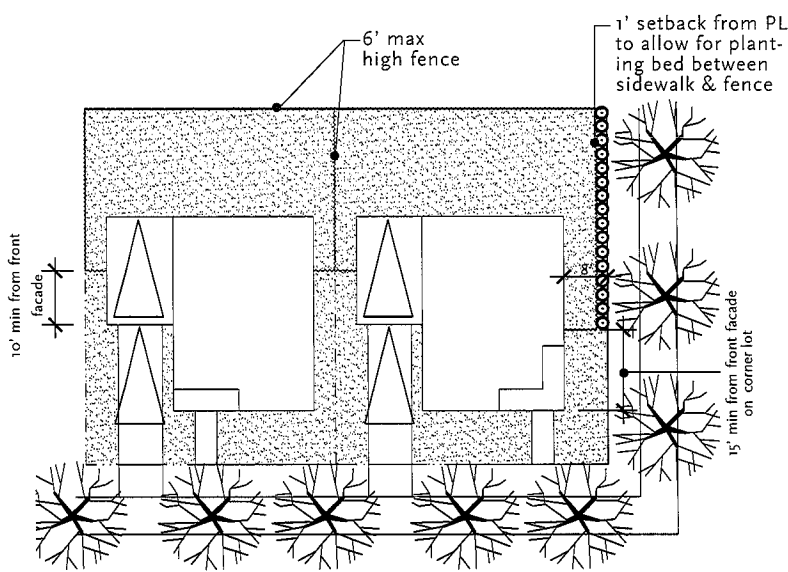
- **height**
36" max
- **location**
on front property line or setback to allow for planting between sidewalk & fence
- **acceptable materials**
wood, vinyl, iron, & masonry
- **front yard**
should be 10' from front facade

hedges

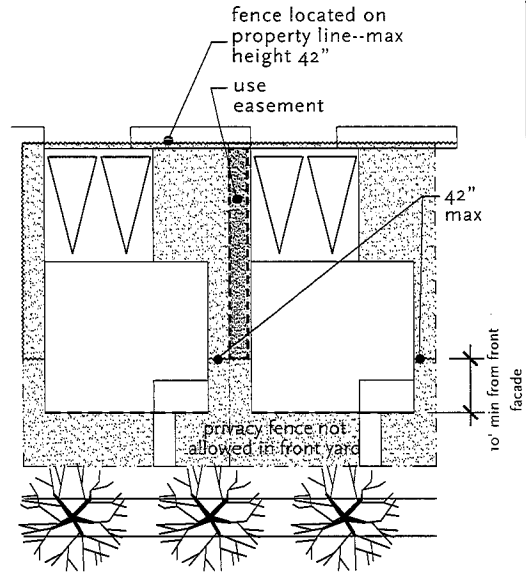
Hedges can also be used to define the front yard or provide privacy on side and rear yards. If used, they must be continuous along the front and side property line along a street frontage.

- **front yard**
36" max height
- **rear yard on alley**
42" max height
- **rear yard no alley**
42" max height
- **side yard**
42" max height
- **acceptable materials**
evergreen plant material is preferable to provide year-round coverage

FENCING FOR PRIVATE LOTS



Front Loaded Typical & Corner Lot



Alley Loaded Lots

privacy fencing

Any fence that faces a public street should be planted with trees, shrubs, perennials, and/or vines.

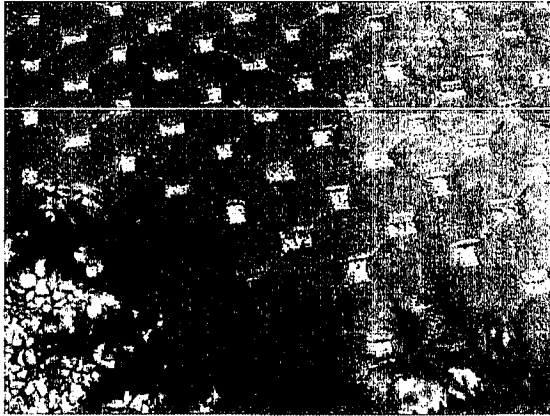
- **rear yard on alley**
42" max height on PL or within 4' of rear PL
- **rear yard no alley**
6' max height, on rear property line
- **front yard**
not allowed
- **side yard**
42" max height, 10' from front facade
- **acceptable materials**
wood, vinyl, vinyl coated chain link or masonry

locating privacy fences

Privacy fences are primarily used in back yards. When privacy fences are used in back yards with alleys, a gate must be incorporated.

- **sideyard**
10' min from front facade
- **sideyard on corner**
15' min from front elevation
2' setback from PL to allow for planting strip between fence & sidewalk
- **rear yard**
privacy fence should be located on the property line
- **privacy fence must provide gate access to alley**

SUSTAINABLE LANDSCAPE PRACTICES



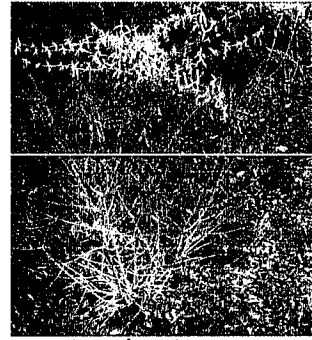
Pervious ground treatments



Edible plantings provide habitat & food for birds & other wildlife



Drought tolerant plantings



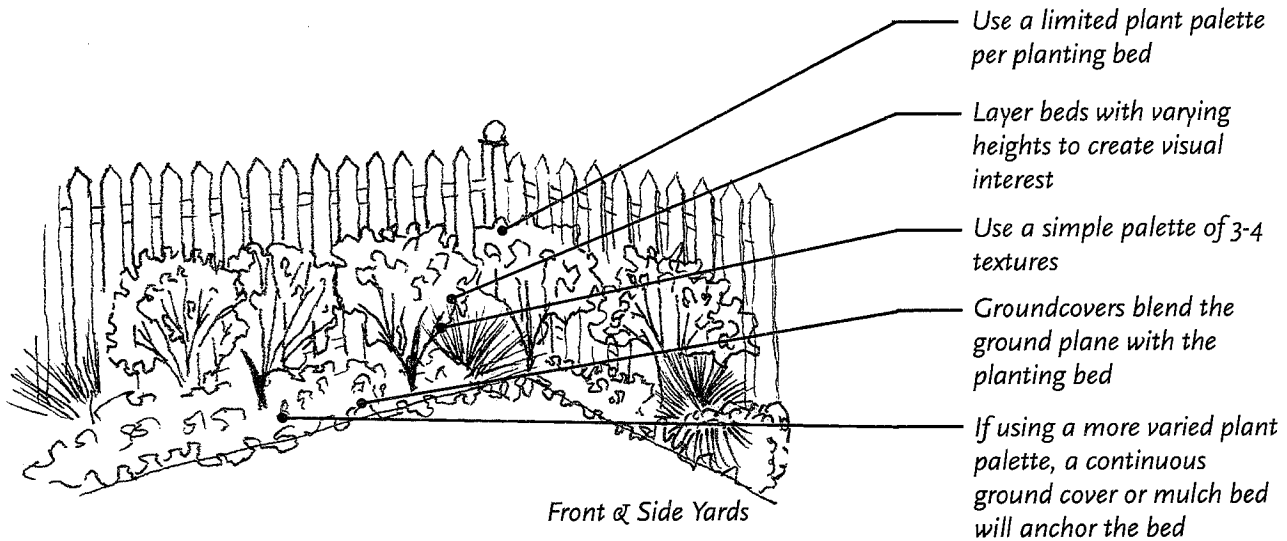
Native plantings

guiding principles

The following principles are encouraged for all landscapes at New Columbia:

- Preserve existing trees on the site
- Do not apply herbicides and pesticides during site prep
- Create a landscape plan that provides for bird and insect habitat
- Use west and south facing building shading
- Use native, hardy plant materials for landscaping, minimize total turf area
- Install high-efficiency drip irrigation systems or no irrigation (temporary irrigation will be required until the landscape is established)
- Install rainwater catchment system for water reuse
- Reduce the amount of impervious surface
- Reduce runoff with the use of pervious surfaces
- Use porous pavement where possible
- Use grass swales to handle water

PLANTING DESIGN



Use a limited plant palette per planting bed

Layer beds with varying heights to create visual interest

Use a simple palette of 3-4 textures

Groundcovers blend the ground plane with the planting bed

If using a more varied plant palette, a continuous ground cover or mulch bed will anchor the bed

general planting guidelines for private yards

These general guidelines are being used by HAP in the development of the rental housing. Home builders are encouraged to use these guidelines in the development of their homes.

Shrubs, perennials, and groundcovers should be used to define outdoor spaces and to create visual interest. To reduce the amount of water needed to maintain healthy planting areas, vegetation should be native to the Portland area or adaptable to the climate of wet winters and dry summers.

Massing of a single plant species supplemented with a small number of focal plants will create a visually interesting, yet simple to maintain plant palette. This strategy will create continuity throughout the yard and compliment the architecture.

Plants of varying heights should be layered in planting beds with at least two heights: groundcovers at the base of the bed and low-growing shrubs or perennials at the mid-level. Where space and safety allow, larger shrubs should be added at the highest level. Arrange plants to strengthen views and create spaces. When planting under trees, the same layering technique should be applied.

All planting beds should be prepared with topsoil at a depth of 5" and a mulch layer of shredded bark at a depth of 2". Topsoil should be amended per a soil test to ensure proper levels of nutrients and organic matter.

